

Middlesex Street Area Shopfront Improvements
**Feasibility Stage Estimated Works and Costings -
Upper level Improvement Works**

Issue: Feasibility V1
Date: 19.10.2020

Upper level Improvement Works - Feasibility Stage Indicative Works and Pricing

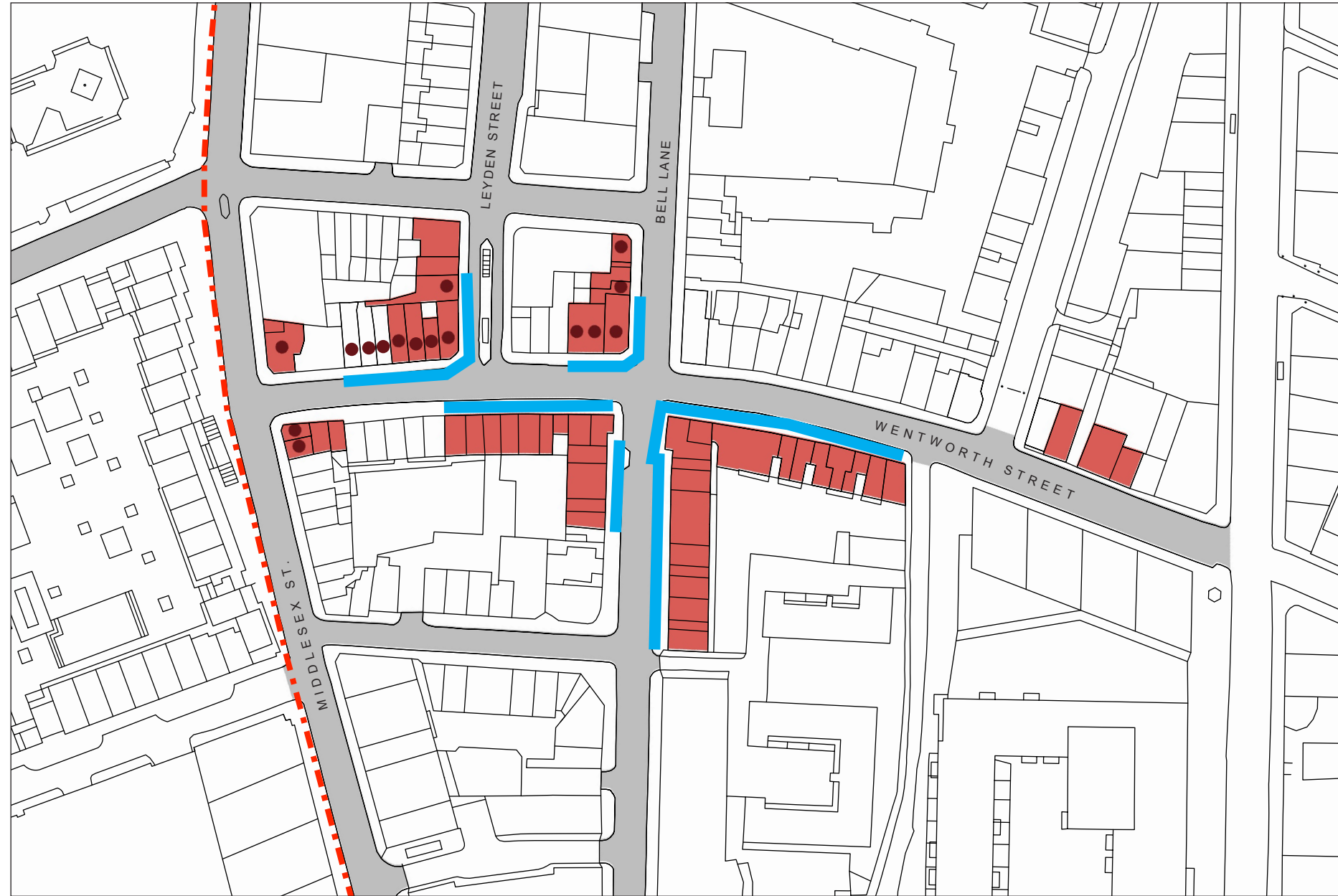
1.0 Proposed Works

1.1 Suggested buildings for upgrade works

This plan highlights several buildings in need of upper level improvement works.

If upgraded along with the shopfronts at ground level, these buildings could have a large impact on the character, identity and experience of the area.

This plan also highlights the priority shopfronts which require upgrade works, to differing degrees - minor, medium and major.



Key

- Streets included in this study remit
- Shopfronts shortlisted for improvement works
- Buildings selected for upgrade works to upper levels
- Suggested focus areas for traditional corbel and awning repair / replacement
- Borough boundary line

Ten key buildings have been identified as in need of upper level improvements. These selected buildings vary in number of facade area, scale, style and condition.

A row of terraces - Nos.7-19 Wentworth Street - have also be selected for works to facade drainage only.

This results in a shortlist of 15 buildings in total for upper level works.



A. No.1 Wentworth Street
Majestic London



B. No.13 Wentworth Street
Dry Cleaners Tailors



C. No.19 Wentworth Street
Novo Fashions (Swiss Voile)

Nos.7-19 Wentworth Street - Facade drainage only



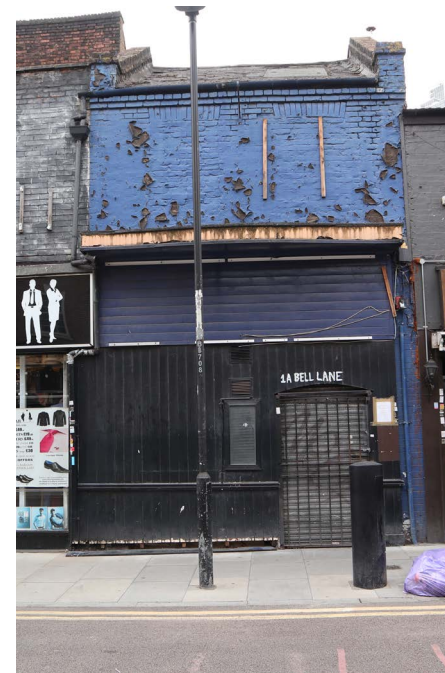
D. No.1 Leyden Street
Unknown / vacant



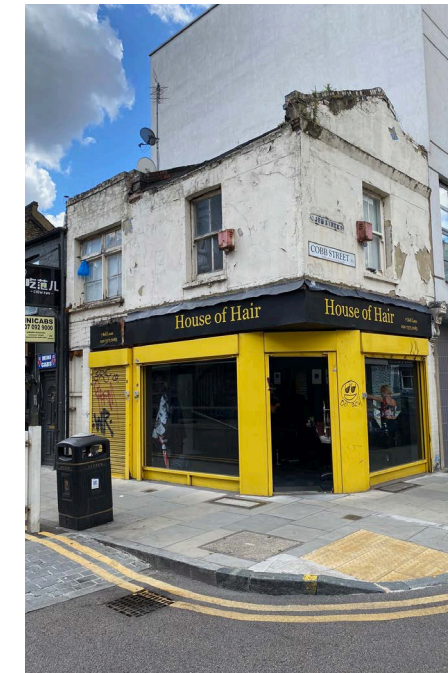
E. No.27-27a Wentworth Street
Bina Shoes



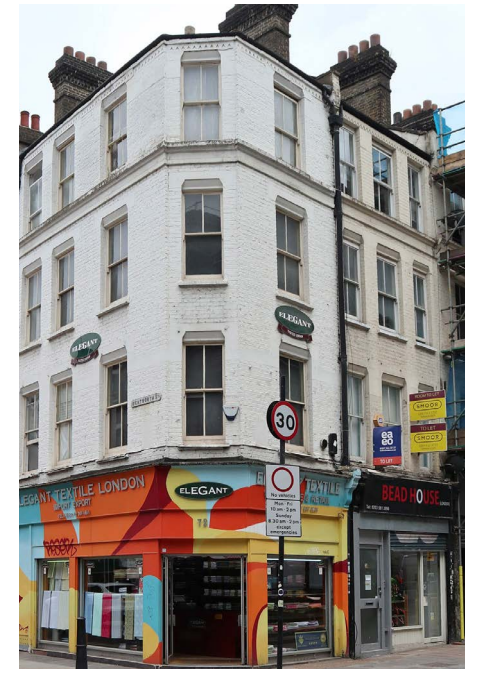
F. No.29 Wentworth Street
City Wear



G. No. 1 Bell Lane
Unknown / vacant



H. No. 7 Bell Lane
House of Hair



I+J. No. 72 Middlesex Street
Elegant Textile London & No. 70
Middlesex Street
Bead House

Upper level Improvement Works - Feasibility Stage Indicative Works and Pricing

1.0 Proposed Works

1.2 Existing rainwater drainage

As uses and ownership have changed over the years, some facade drainage has become untidy and unsafe. Some specific points to consider:

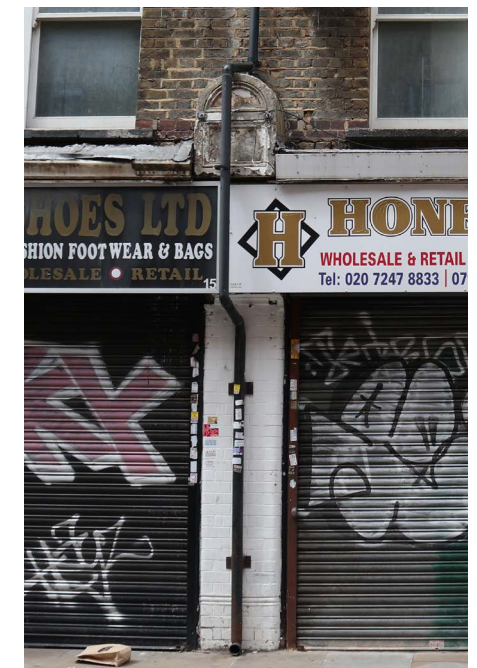
- Clutter: Drainage runs are excessive untidy and inconsistent, often with poor quality systems and fixings.
- Safety: Some surface water downpipes currently drain directly onto the pavement which poses a risk to pedestrians. If works are to include changes to these downpipes we will have to ensure safe connection to below grounds surface water drainage.
- Building regulations: For some buildings it appears that there is no surface water and foul water separation required by building regulations. There may be some exception for this possible for heritage buildings or those in conservation areas. This needs to be investigated further.



No.1 Leyden Street
Rainwater pipe from building above drains into large foul pipe



Nos.5-7 Leyden Street
Inconsistent drainage layout - in front of corbel on the left and behind on the right



No.17 Wentworth Street
Inconsistent in drainage layout - left side draining directly onto pavement, right side draining to below ground drain.

1.3 Historical rainwater drainage

Historical photographs and other local buildings reveal traditional drainage arrangements

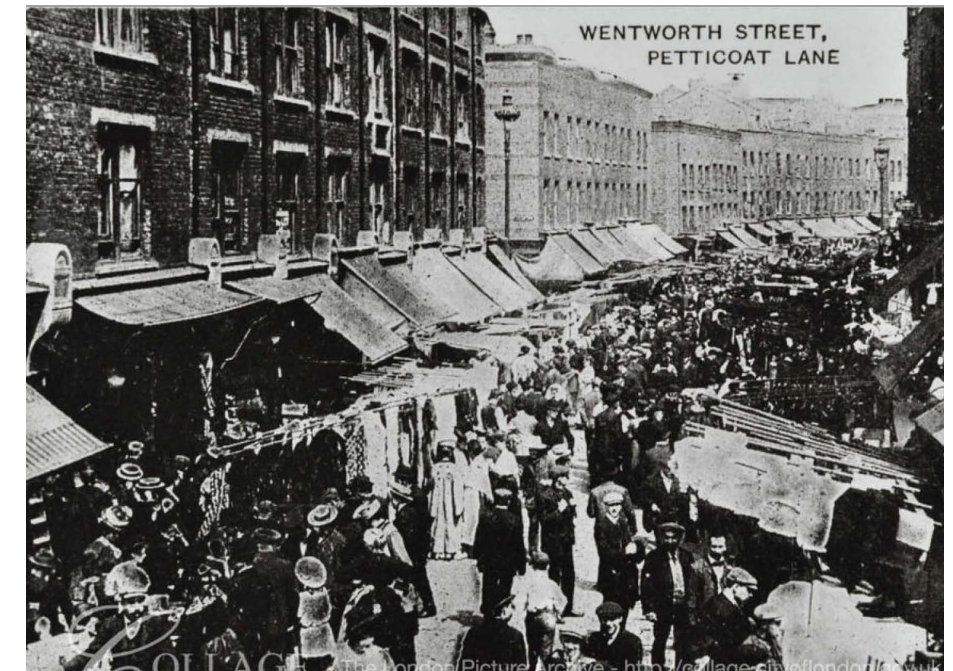
Traditionally downpipes appear to have passed behind the corbels and then internally so they are not visible at shopfront level. It is likely that changes in building regulations, and ownership meant this was no longer possible.



The Bell PH
Downpipe draining behind shopfront



80 Middlesex Street
Downpipe running inside building at first floor level



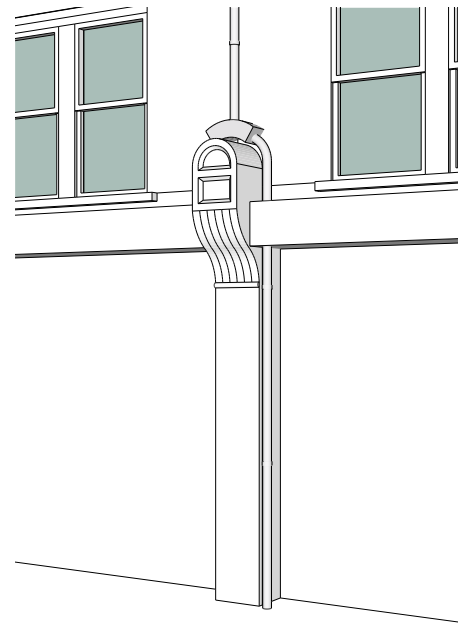
Nos.1-19 Wentworth Street
Historic photograph from 1900s showing traditional position of downpipes, running along party wall between each building

1.4 Proposed downpipe approach

While traditionally drainage ran behind the corbels of each shopfront and was concealed from view, reinstating drainage in this position could require complex and expensive works.

The drawings, right, show a proposed strategy for surface the mounted drainage. This includes:

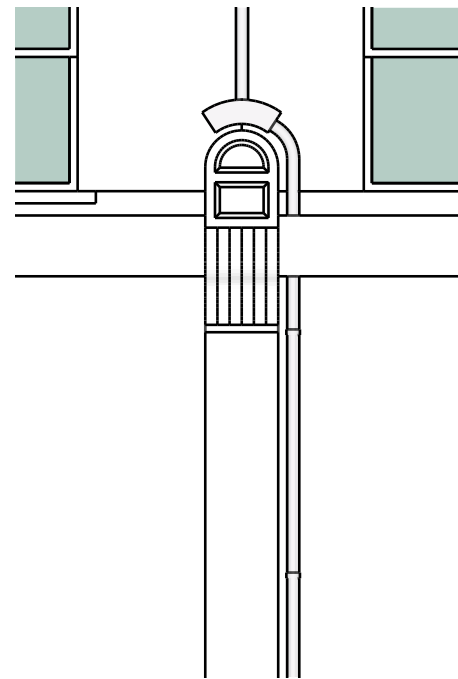
- Introducing a rationalised, repeated arrangement of drainage routes across the cluster of buildings, simplifying the street elevation.
- A bespoke hopper that aligns with the proportions and form of the traditional shopfront corbels, yet sits subservient to the architectural feature.
- A second bespoke hopper in a similar style, that is used elsewhere on the facade to unify the drainage routes.



Sketch 1: Proposed bespoke hopper above shopfront corbel



Nos.7-19 Wentworth Street
Existing condition of facade drainage



Sketch 2: Proposed bespoke hopper above shopfront corbel



Nos.7-19 Wentworth Street
Sketch of proposed facade drainage across building elevations

Upper level Improvement Works - Feasibility Stage Indicative Works and Pricing

1.0 Proposed Works

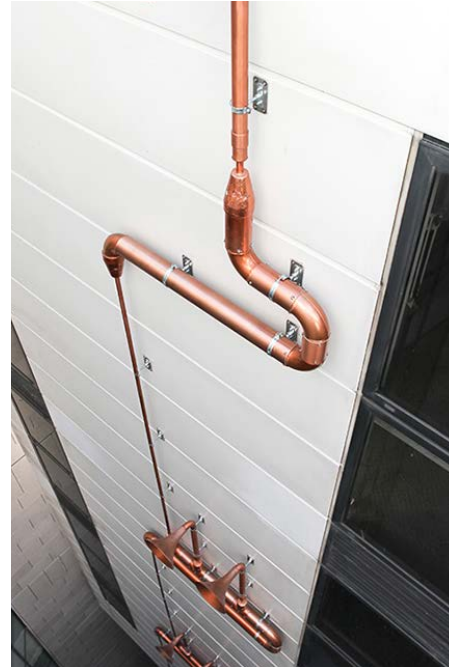
1.5 Rainwater drainage references

Upgrading clusters of buildings provides an opportunity to simplify and unify rainwater drainage on the street elevation.

Rather than trying to disguise or conceal the drainage, there is an opportunity make it a feature of the street elevation.

Drainage features to consider:

- Position and layout of pipework and hoppers across facades
- Colour / finish of rainwater goods.
- Bespoke and non standard rainwater hoppers.
- Bespoke and non standard fixings back to facade.



Pipework as a decorative feature
Studio Weave, The Lullaby Factory



Hexagonal copper downpipe and bracket



Victorian rainwater heads



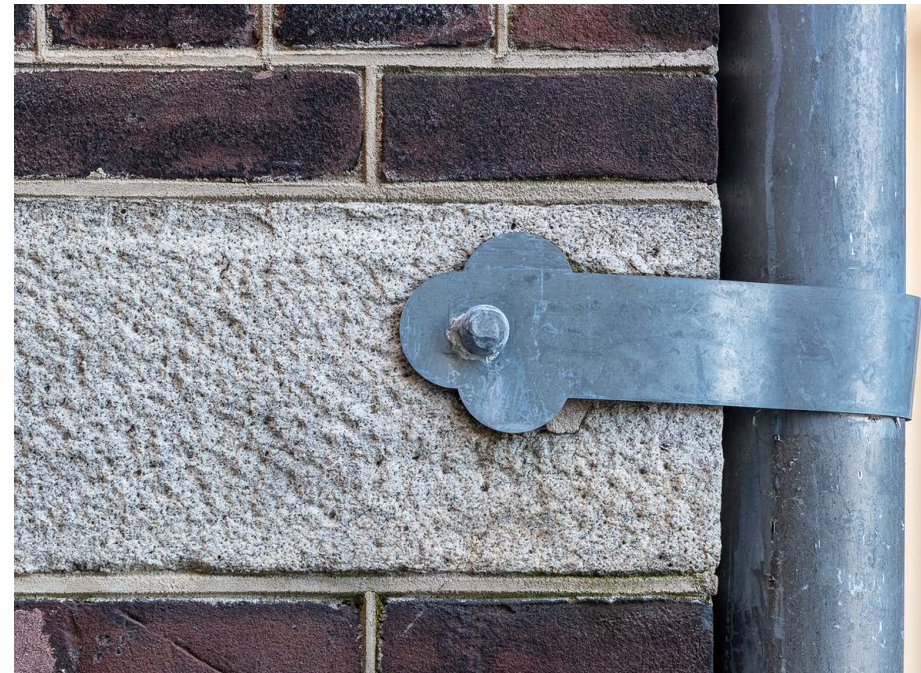
Decorative cast iron rainwater head / hopper



Decorative brackets rebated into brickwork



Unified decoration on hopper and wall brackets



Decorative downpipe bracket



Decorative bespoke fixing brackets to rainwater hopper

1.6 Elevation Studies - 1 Leyden Street

We have prepared an example building elevation showing proposed improvement works.

Existing Condition

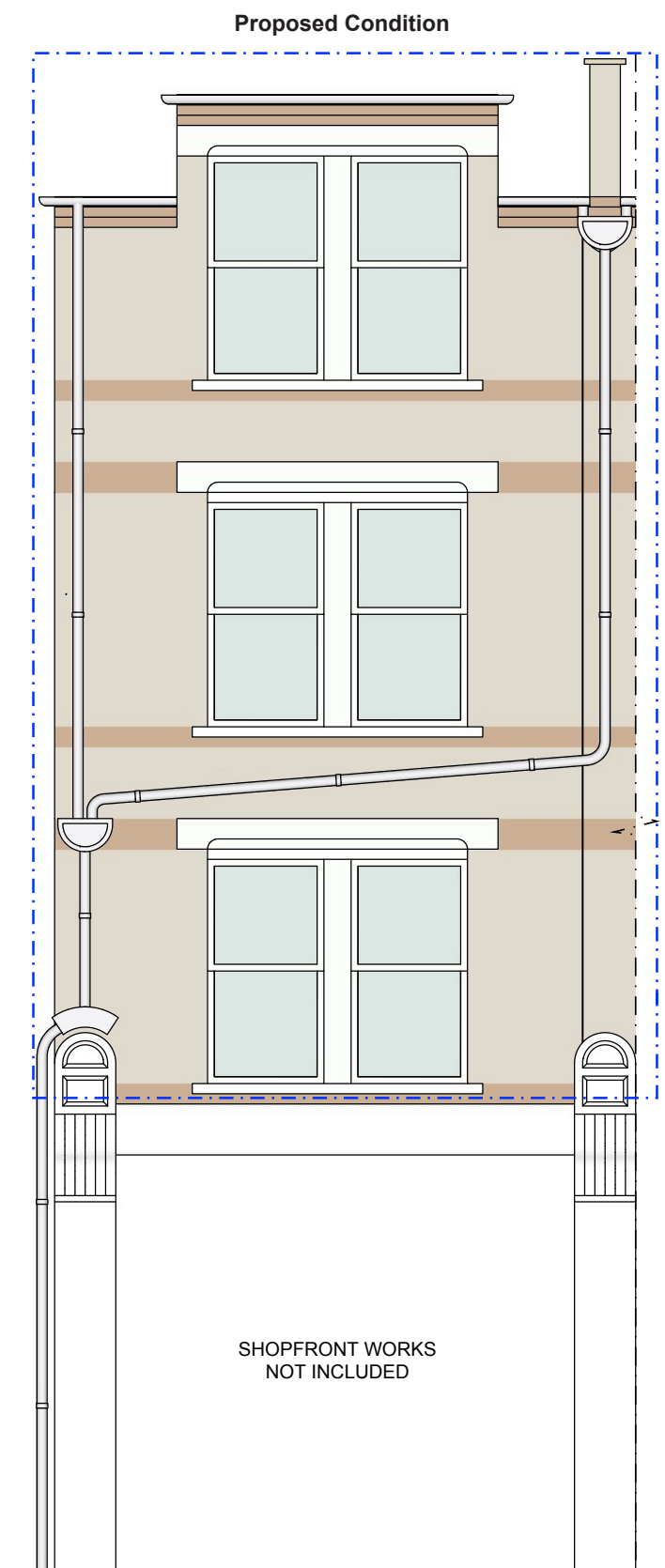
- Architectural details damaged, loss of traditional corbels.
- Loose and peeling paintwork to entire elevation.
- Damaged windows.
- Untidy drainage across elevation, brackets unevenly spaced and multiple hoppers.
- Vegetation growing in gutters.
- Untidy cables.
- Redundant signage and fittings.

Proposed Condition

- Redundant signage removed.
- Masonry cleaned and repaired to reveal existing brick detailing.
- Architectural details such as lintels repaired.
- Existing sash windows repaired and repainted.
- New rainwater goods in simplified design, including bespoke hoppers around reinstated corbels.
- Necessary cables fixed back to elevation in neat vertical lines.
- Corbels reinstated.



Note: Corbels removed since 2014 (Google street view)



Upper level Improvement Works - Feasibility Stage Indicative Works and Pricing

1.0 Proposed Works

1.7 Facade signage

Four of the buildings selected currently have facade signage of some kind. These signs vary in condition and legibility but are an important feature of this commercial area.

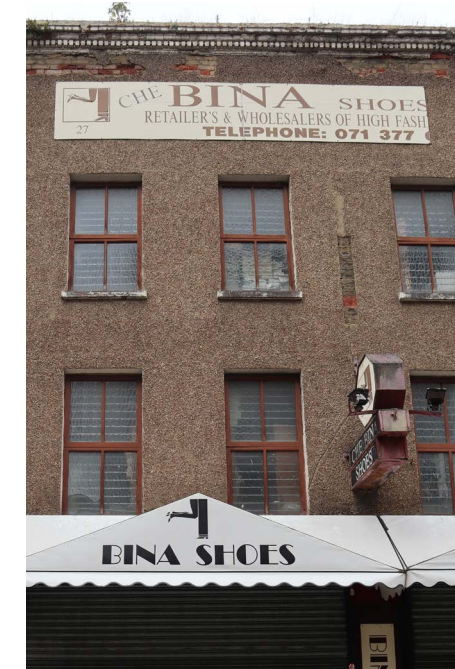
As most building upgrade works will require signage to be removed it is an opportunity to upgrade and restore this building signage.



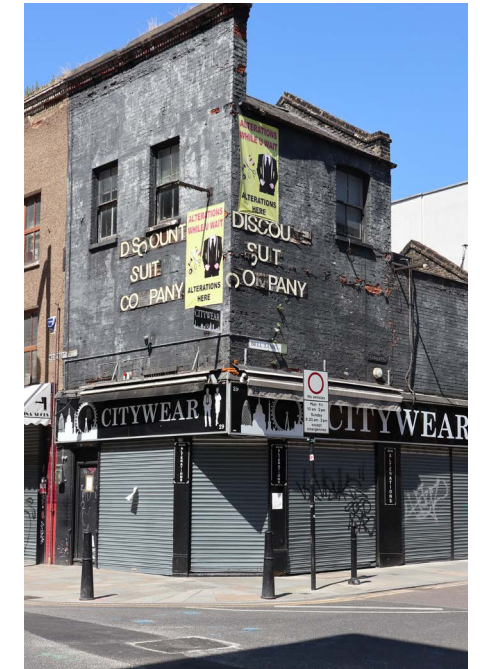
Redundant neon signage in high level bands and lower boards, No.1 Wentworth Street



Facade signage for Elegant Textiles, No.72 Middlesex Street



High level sign at Bina Shoes, No.27-27a Wentworth Street



Cut out lettering and advertising banners at City Wear, No.29 Wentworth Street



Redundant neon signage, No.1 Wentworth Street



Metal sheet signage for Elegant Textiles, No.72 Middlesex Street



Hanging sign at Bina Shoes, No.27-27a Wentworth Street



Cut out lettering and advertising banners at City Wear, No.29 Wentworth Street

1.8 Facade signage references

The following references show some approaches to facade signage and lettering.



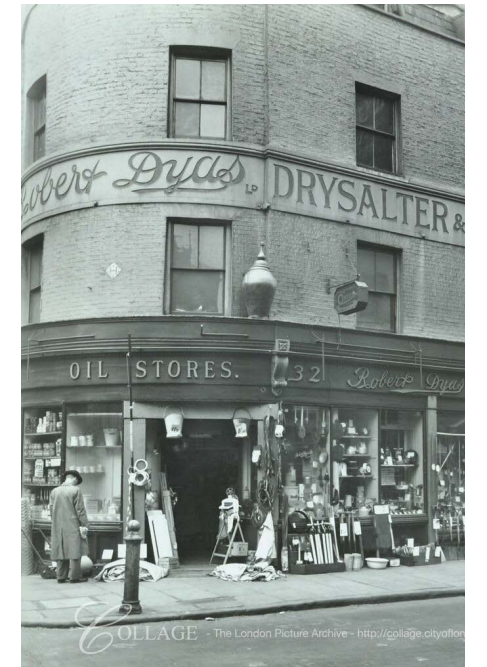
Hand painted signage on masonry
Chris Dyson Architects, Commercial St



Historic photograph of painted signage to
Wentworth Dwellings, Wentworth Street



Contrasting band of signage on masonry building
Location: unknown



Painted signage on London shopfront
Source: London Metropolitan Archive



Historic photograph of wall mounted
signage illuminated from above, Goulston
Street



Painted signage on London shopfront
Source: London Metropolitan Archive



Painted signage on London shopfront
Source: London Metropolitan Archive



Painted lettering on masonry and render

Upper level Improvement Works - Feasibility Stage Indicative Works and Pricing

2.0 Indicative Works and Pricing

2.1 Indicative Pricing Overview

Initial quotes from suppliers have been obtained to generate a standard list of works with estimated pricings.

Please refer to the following extracts from excel sheet "050MSS_RF_Works Summary and Indicative Pricing by Package - Upper level improvement works", extract right.

IMPORTANT NOTE:

This document contains indicative pricing and works based on feasibility stage design information, done without contractor input to assist the Local Authority in the application of grant funding. It should not be relied upon as a construction budget for works. This information is based on typical cost rates from contractors and suppliers and approximate dimensions calculated from photographs. In reality each building differs in size and condition and designs and pricing will need to be generated on a case-by-case basis. A measured survey will be required to obtain accurate measurements.

Pricing does not include:

- Potential discounts delivered through volume
- Statutory fees


Accurate pricing should be undertaken by a QS or a main contractor following Detailed Design.

TABLE 1 Indicative example pricing by rate or unit item								
	Ref.	Item	Supplier	Main contact	Unit	Est. Unit Cost (EX. VAT)	Notes	Alternative Suppliers
1.0 FABRIC	1.1	Supply and install scaffolding.	Main contractor	Mitre Construction	per m2	£35.00	Provisional Sum. Cost does not include alarms, lighting, gantry. To be reviewed on a case by case basis.	LGC decorators - quoted £4000 per building
	1.1.1	Licence Fee	Main contractor	Mitre Construction	1	£400.00	Licences typically additional £400 per building.	-
	1.2	Facade declutter.	Main contractor	Mitre Construction	1	£500.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis. Declutter: Strip redundant signage and services, fill small holes. Tidy loose cables and fix back to elevation.	LGC decorators -
	1.3	Facade clean and and prepare for painting.	Sub-contractor	LGC Decorators	per m2	£25.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-
	1.4	Facade paint removed.	Main contractor	Mitre Construction	per m2	£85.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis. Includes Stonehealth DOFF superheated water cleaning only.	-
	1.5	Facade render removed.	Main contractor	Mitre Construction	per m2	£23.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-
	1.6	Masonry repaired and repointed.	Main contractor	Mitre Construction	per m2	£65.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-
	1.7	Architectural details cleaned and repaired.	Main contractor	Mitre Construction	1	£1,500.00	Provisional Sum per facade, subject to existing condition. To be reviewed on a case by case basis. Includes: Decorative window cills, lintels, cornicing and other details.	-
	1.8	Rebuild corbel to match existing traditional style.	Main contractor	Mitre Construction	1	£3,000.00	Provisional sum per corbel, subject to existing condition. To be reviewed on a case by case basis.	-
	1.9	Building facade repainted. Including architectural details.	Sub-contractor	Mitre Construction	per m2	£50.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-
2.0 WINDOWS	2.1	Repair existing sash windows	Sub-contractor	London Box Sash	1	£395.00	Cost of standard 'MOT service' to windows. Includes changing the brushes and beads and making sure it glides up and down.	Core Sash Enfield Windows
	2.2	Prepare and paint existing windows.	Sub-contractor	LGC decorators	1	£300.00	Provisional Sum per window. Based on quote from LGC decorators.	-
	2.3	Replace glazing in existing windows.	Main contractor	Mitre Construction	1	£60.00		-
	2.4	Supply and install new double glazed timber sash window	Main contractor	Mitre Construction	1	£1,500.00	Provisional Sum, to be reviewed on a case by case basis. Includes: Double glazed sash window.	-
3.0 DRAINAGE	3.1	Clean and repair existing rainwater goods.	Main contractor	Mitre Construction	1	£350.00	Provisional Sum based on typical elevation. Includes: Clearing gutters and downpipes, repairing any leaks and ensuring safe discharge of rainwater from roof to below grounds drain.	-
	3.2	Replace rainwater goods with new black steel guttering, downpipes, brackets and connecting items.	Main contractor	Mitre Construction	1	£1,500.00	Provisional Sum based on typical elevation. Includes: Clearing gutters and downpipes, repairing any leaks and ensuring safe discharge of rainwater from roof to below grounds drain.	-
	3.3	Bespoke aluminum hopper	Sub-contractor	Angel Plastics Ltd	1	£500.00	Provisional Sum, based on typical elevation only. Includes 2mm aluminium folded, cut and welded.	-
4.0 SIGNAGE	4.1	Bespoke hand painted signage onto building facade	Sub-contractor	Luminor Sign Co Ged Palmer 020 7033 7934 contact@luminorsignco.com	1	£950.00	Provisional Sum based on typical elevation. Allows for design and painting of signage, including providing two options for review.	Grover works Alpha Signwriting
5.0 SHOPFRONT	5.1	Shopfront replace (timber frame)	Huxley & Co	Zak Iqbal 07935 277 477 info@huxleyandco.co.uk	1.00	£10,000.00 – £15,000.00	Supply and Install. Provisional Sum. (Approx 4000w x 3500h) Bespoke timber framed shopfront. Inc. Fascia Board.	-

2.2 Individual Cost Estimates

We have undertaken three example cost estimates for upper level works.

Estimations vary considerably due to the ranges of facade area.

TABLE 2		Example A. 1 Wentworth Street						
Image	Ref.	Item	No.	Est. Cost (Exc. VAT)	Notes	Alternative Suppliers		
	1.1	Supply and install scaffolding.	65m2	£2,275.00	Provisional Sum. Cost does not include alarms, lighting, gantry. To be reviewed on a case by case basis.	LGC decorators quoted £4000 per building	-	
	1.1.1	Licence Fee	1	£400.00	Licences typically additional £400 per building.	-	-	
	1.2	Facade declutter.	1	£500.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis. Declutter: Strip redundant signage and services, fill small holes. Tidy loose cables and fix back to elevation.	LGC decorators	-	
	1.5	Facade render removed.	65m2	£1,495.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-	-	
	1.6	Masonry repaired and repointed.	65m2	£4,225.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-	-	
	1.7	Architectural details cleaned and repaired.	2	£3,000.00	Provisional Sum per facade, subject to existing condition. To be reviewed on a case by case basis. Includes: Decorative window cills, lintels, cornicing and other details.	-	-	
	2.1	Repair existing sash windows	5	£1,975.00	Cost of standard 'MOT service' to windows. Includes changing the brushes and beads and making sure it glides up and down.	Core Sash	Enfield Windows	
	2.2	Prepare and paint existing windows.	5	£1,500.00	Provisional Sum per window. Based on quote from LGC decorators.	-	-	
	2.4	Supply and install new double glazed timber sash window	2	£3,000.00	Provisional Sum, to be reviewed on a case by case basis. Includes: Double glazed sash window.	-	-	
	3.1	Clean and repair existing rainwater goods.	1	£350.00	Provisional Sum based on typical elevation. Includes: Clearing gutters and downpipes, repairing any leaks and ensuring safe discharge of rainwater from roof to below grounds drain.	-	-	
	4.1	Bespoke hand painted signage onto building facade	2	£950.00	Provisional Sum based on typical elevation. Allows for design and painting of signage, including providing two options for review.	Grover works	Alpha Signwriting	
Approx facade area (m2): 65								
Total Construction cost (ex VAT)				£19,670.00				
Contractor overheads and profit @ 10%				£1,967.00				
Architectural fees D&B @ 10%				£1,967.00				
Total cost (ex VAT, statutory fees)				£23,604.00				

Upper level Improvement Works - Feasibility Stage Indicative Works and Pricing

2.0 Indicative Works and Pricing



TABLE 3		Example B. 1 Leyden Street						
Image	Ref.	Item	No.	Est. Cost (Exc. VAT)	Notes	Alternative Suppliers		
	1.1	Supply and install scaffolding.	25m2	£875.00	Provisional Sum. Cost does not include alarms, lighting, gantry. To be reviewed on a case by case basis.	LGC decorators quoted £4000 per building	-	
	1.1.1	Licence Fee	1	£400.00	Licences typically additional £400 per building.	-	-	
	1.2	Facade declutter.	0.5	£250.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis. Declutter: Strip redundant signage and services, fill small holes. Tidy loose cables and fix back to elevation.	LGC decorators	-	
	1.4	Facade paint removed.	25m2	£2,125.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis. Includes Stonehealth DOFF superheated water cleaning only.	-	-	
	1.6	Masonry repaired and repointed.	25m2	£1,625.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-	-	
	1.7	Architectural details cleaned and repaired.	1	£1,500.00	Provisional Sum per facade, subject to existing condition. To be reviewed on a case by case basis. Includes: Decorative window cills, lintels, cornicing and other details.	-	-	
	1.8	Rebuild corbel to match existing traditional style.	2	£6,000.00	Provisional sum per corbel, subject to existing condition. To be reviewed on a case by case basis.	-	-	
	2.1	Repair existing sash windows	6	£2,370.00	Cost of standard 'MOT service' to windows. Includes changing the brushes and beads and making sure it glides up and down.	Core Sash	Enfield Windows	
	2.2	Prepare and paint existing windows.	6	£1,800.00	Provisional Sum per window. Based on quote from LGC decorators.	-	-	
	3.2	Replace rainwater goods with new black steel guttering, downpipes, brackets and connecting items.	1	£1,500.00	Provisional Sum based on typical elevation. Includes: Clearing gutters and downpipes, repairing any leaks and ensuring safe discharge of rainwater from roof to below grounds drain.	-	-	
	3.3	Bespoke aluminum hopper	3	£1,500.00	Provisional Sum, based on typical elevation only. Includes 2mm aluminium folded, cut and welded.	-	-	
	Approx facade area (m2): 25							
	Total Construction cost (ex VAT)				£18,445.00			
Contractor overheads and profit @ 10%				£1,844.50				
Architectural fees D&B @ 10%				£1,844.50				
Total cost (ex VAT, statutory fees)				£22,134.00				

TABLE 4		Example C. 7 Bell Lane						
Image	Ref.	Item	Unit	Est. Cost (Exc. VAT)	Notes	Alternative Suppliers		
	1.1	Supply and install scaffolding.	20m2	£700.00	Provisional Sum. Cost does not include alarms, lighting, gantry. To be reviewed on a case by case basis.	LGC decorators quoted £4000 per building	-	
	1.1.1	Licence Fee	1	£400.00	Licences typically additional £400 per building.	-	-	
	1.2	Facade declutter.	0.5	£250.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis. Declutter: Strip redundant signage and services, fill small holes. Tidy loose cables and fix back to elevation.	LGC decorators	-	
	1.5	Facade render removed.	20m2	£460.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-	-	
	1.6	Masonry repaired and repointed.	20m2	£1,300.00	Provisional Sum, subject to existing condition. To be reviewed on a case by case basis.	-	-	
	1.7	Architectural details cleaned and repaired.	1	£1,500.00	Provisional Sum per facade, subject to existing condition. To be reviewed on a case by case basis. Includes: Decorative window cills, lintels, cornicing and other details.	-	-	
	2.1	Repair existing sash windows	4	£1,580.00	Cost of standard 'MOT service' to windows. Includes changing the brushes and beads and making sure it glides up and down.	Core Sash	Enfield Windows	
	2.2	Prepare and paint existing windows.	4	£1,200.00	Provisional Sum per window. Based on quote from LGC decorators.	-	-	
	3.1	Clean and repair existing rainwater goods.	1	£350.00	Provisional Sum based on typical elevation. Includes: Clearing gutters and downpipes, repairing any leaks and ensuring safe discharge of rainwater from roof to below grounds drain.	-	-	
	Approx facade area (m2): 20							
Total Construction cost (ex VAT)				£7,740.00				
Contractor overheads and profit @ 10%				£774.00				
Architectural fees D&B @ 10%				£774.00				
Total cost (ex VAT, statutory fees)				£9,288.00				