



Queen Mary University of London Mile End Campus

Supplementary Planning Document
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SECTION A

CONTEXT AND ANALYSIS

1.0 INTRODUCTION

1.1 PURPOSE OF THE DOCUMENT

The purpose of the document is to provide a planning framework to inform and guide the future development of the Queen Mary University of London (QMUL) Mile End Campus; while also supporting innovation and investment in research; and expanding the range and quality of its offer.

The SPD supports the Tower Hamlets Local Plan and provides further detail on how planning policies should be implemented within the SPD area. The document will provide material weight in planning decisions; and will therefore help the council to evaluate individual planning applications on the campus to assess whether they are in line with the coherent growth strategy set out within.

Until now the campus has developed in a largely ad-hoc way, and it is the aim to ensure that future development is considered in a more comprehensive manner in order to enhance the quality of the estate while strengthening the public realm and integrating the campus more successfully with its surroundings.

Some of the key objectives of the SPD are to ensure that new growth is delivered sustainably; to open up aspects of the university for the benefit of the wider community; to create a more successful streetscape and public realm; to enhance biodiversity; strengthen and protect existing heritage assets; and improve the permeability of the campus to support pedestrian and cycle access.

Meeting these objectives for sustainable and carefully managed growth will also support the university to

improve the quality of the campus by providing the types of buildings that will be required to meet future academic requirements; support innovation and investment in research; and expand the range and quality of its offer.

1.2 HOW TO READ AND APPLY THE DOCUMENT

This SPD has been prepared by Haworth Tompkins on behalf of the London Borough of Tower Hamlets, in collaboration with LDA and Systra.

The document is split into four sections. Section A explores the local context and analyses the current setting of the campus. Section B identifies area-wide priorities in relation to the Mile End Campus and surrounding neighbourhood, setting out masterplan objectives and key issues. Section C explores in more detail the potential development areas across the campus, through case studies and design principles. Finally, section D considers obligations and mitigation.

Reference is made throughout the document to relevant planning documents and key policies that must be considered in parallel to this document when bringing sites forward for development, or when assessing the suitability of individual proposals.



Bethnal
Green Garden

MEATH
GARDENS

MILE END HOSPITAL

QUEEN MARY
UNIVERSITY OF
LONDON

Mile End

TOWER
HAMLETS
CEMETERY PARK

Stepney Green

MILE END ROAD

MILE END PARK

STEPNEY
GREEN PARK

1.0 INTRODUCTION

1.3 TOWER HAMLETS

The London Borough of Tower Hamlets is located east of the City of London and north of the River Thames, covering much of the traditional East End.

The borough also forms part of a major growth corridor between London, Stansted and Cambridge, centred on enterprise and innovation within emerging sectors such as digital media, life science, telecommunications and advanced manufacturing.

From 2006 to 2016, Tower Hamlets experienced the fastest population growth of any local authority in England and Wales, particularly among the working-age population, making it one of the densely populated boroughs in the UK.

One of the borough's defining characteristics is the diversity of its residents. Around two-thirds of the borough's population come from a minority ethnic background and more than two-fifths of the population were born outside of the UK.

Tower Hamlets has the largest proportion of young people compared to other inner London boroughs and is one of the fastest growing parts of the country. By 2031, the borough's population is expected to increase to nearly 400,000 residents. As well as providing homes for its own rising population, the borough is also expected to make a significant contribution towards helping London meet its strategic housing need.

Tower Hamlets has recently adopted a new local plan which seeks to guide new development until 2031. The Mile End Campus is located in the heart of the 'Central' sub area of the borough as defined by the local plan.

1.4 SPD AREA

The Mile End Campus is located within a mainly residential part of Tower Hamlets.

To the east, the campus is bound by the Regent's Canal and Mile End Park. This tranquil, green canalside environment provides relatively quiet, open spaces for recreation and escape from the busy city.

Mile End Park and the Regent's Canal also form a core North-South spine of the Green Grid network and a key pedestrian and cycle route connecting the Limehouse cut in the south to Victoria Park in the north.

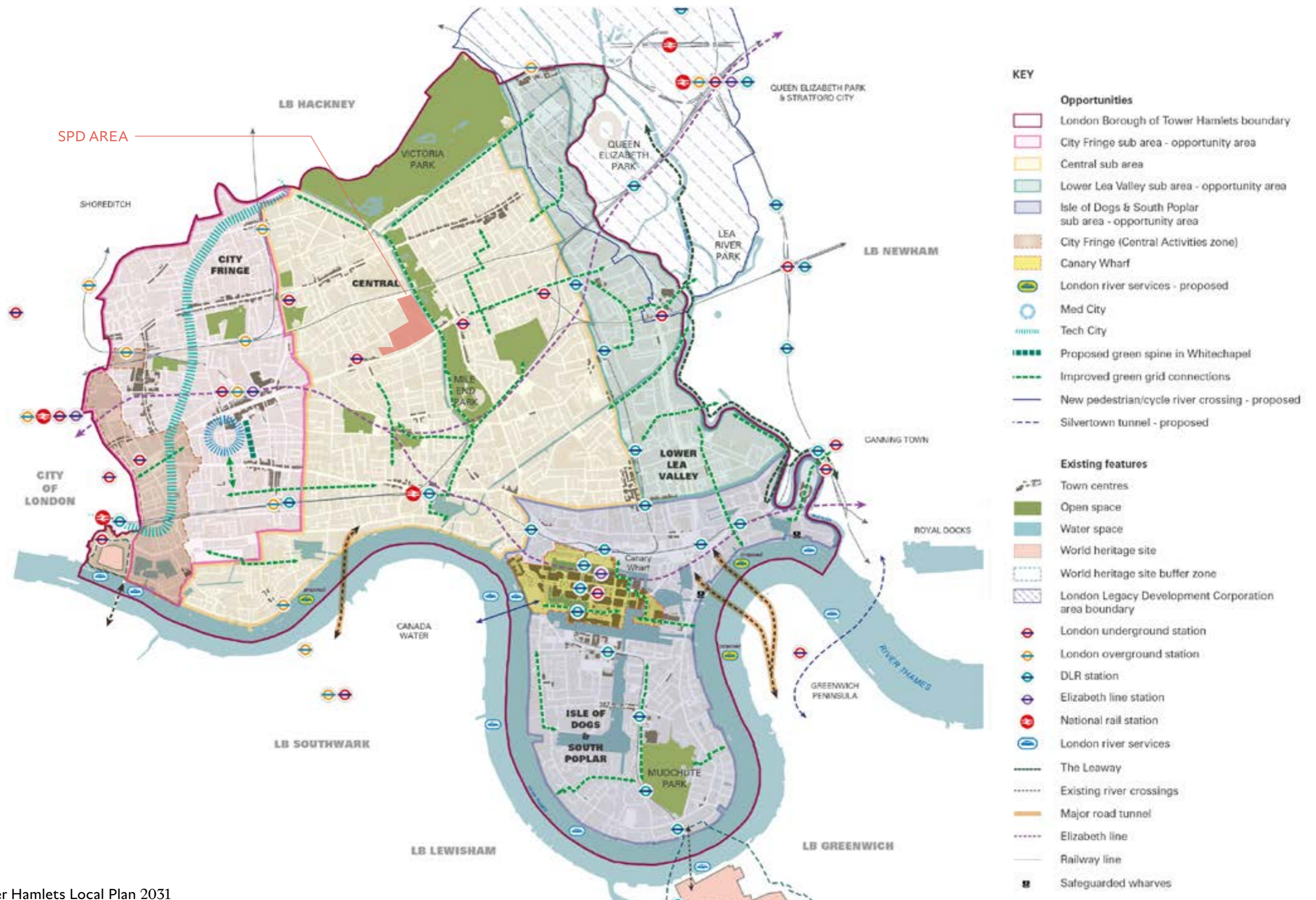
To the south of the campus, on the opposite side of Mile End Road, six-storey blocks are set around the green courtyards of the Ocean Estate. This 1960s estate is of a relatively high density and has been subject to further housing intensification in recent years.

The southern border of the campus is bound by Mile End Road which is a vibrant and busy thoroughfare with a strong mix of uses and good access to public transport.

The area to the west of the campus is characterised by the two-storey terraced houses of the Carlton Square Conservation Area. This conservation area is interspersed with post-war housing of a larger scale (up to six-storeys).

Immediately to the north west of the campus is Mile End Hospital. The hospital buildings are of varying ages, dating back as far as 1911, and currently accommodate a range of outpatient services. The north of the campus is bound by the railway line running between Stratford and Liverpool Street.

The area to the north of the railway line has been subject to large-scale residential development in recent years, particularly those fronting the Regent's Canal. On the south side of the railway, adjacent to the campus, relatively recent student accommodation blocks have been delivered by third party developers.



Tower Hamlets Local Plan 2031

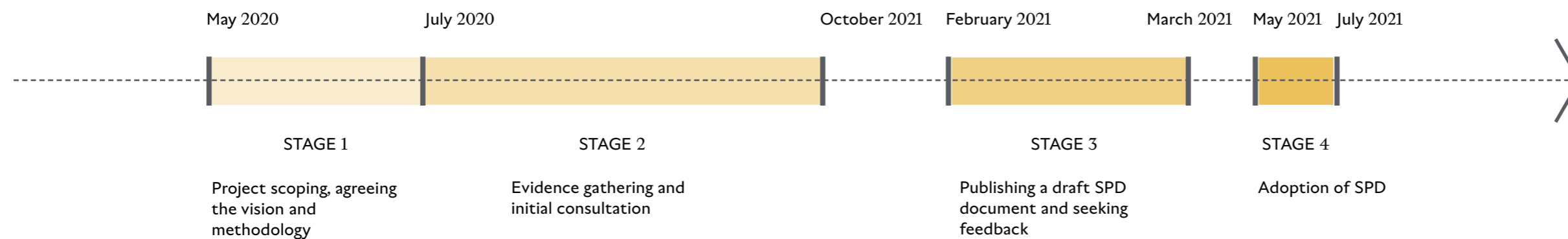
1.0 INTRODUCTION

1.5 CONSULTATION FEEDBACK

Between August and October 2020 we received initial responses prior to producing the draft SPD via an online form on the project website: <https://talk.towerhamlets.gov.uk/QMUL>

Timeline below outlines the different stages of consultation that has taken place. The LBTH team has actively engaged with internal and external stakeholders and the local residents.

A summary of different responses relating to a variety of topics has been outlined further in the chapter.



LOCAL CONNECTIONS AND PERMEABILITY

- Support to improved local connections through the campus to increase the permeability of the local area;

COMMUNITY COHESION

- Support from local residents of opening up of the campus.

HERITAGE

- Feedback supporting the opportunity to celebrate the rich heritage of the campus, the canal and the Novo Cemtery in particular;

ENVIRONMENT

- Support for increased biodiversity;

RESIDENTIAL AMENITY

- Concerns raised by local residents and landowners in relation to security issues resulting from opening up of the campus;

DEVELOPMENT QUANTUM

- Concerns raised over the amount of development proposed on site.



2.0 WHAT THE LOCAL PLAN SAYS

2.1 POLICY CONTEXT

The Town and Country Planning Act 1990 (the “1990 Act”) and the Planning and Compulsory Purchase Act 2004 (the “2004 Act”) establish the legislative basis for town planning in England and Wales. The National Planning Policy Framework (NPPF) (February 2019) is a material consideration in the determination of planning applications. In assessing and determining development proposals, the NPPF (2019) sets out that local planning authorities should apply the presumption in favour of sustainable development.

The statutory development plan comprises the following:

- The London Plan (2021); and
- Tower Hamlets Local Plan 2031 (2020);

This SPD is supplementary to Tower Hamlets Local Plan; it has been prepared to provide additional guidance on interpreting relevant planning policies in the context of QMUL Mile End Campus and is a material consideration for the purposes of making decisions on planning applications.

The Central Area is one of four sub-areas in the Tower Hamlets Local Plan comprising of the area between Victoria Park and the Thames.



Vision for Central

By 2031, the distinct character and identity of the Central sub-area will have been enhanced and strengthened. Growth will be focused around vibrant and revitalised town centres and neighbourhood parades, including Roman Road and Mile End town centres. New development will complement the well-established streetscape and character and the area’s many heritage assets, and their settings will be preserved or enhanced through opportunities for new heritage-led development.

Access to and the quality of the area’s green open spaces (including Victoria Park and Mile End Park) and network of waterspaces (including Regents Canal and Limehouse Cut) will be enhanced and opportunities for new green links and open spaces will be maximised. New development will reduce the severance resulting from The Highway, Mile End Road and Commercial Road, the waterways and railway lines, and provide public realm improvements. Improved cycling and walking routes will increase local accessibility and access to strategic cycle routes and transport interchanges.

Employment in the area will remain primarily local and small-scale focused in town centres and transport hubs, including Bethnal Green, Mile End and Limehouse. Industrial locations along The Highway and Limehouse Cut will further complement existing employment opportunities and will accommodate an increasing number of flexible workspaces suited to new growth industries, including creative and digital industries.

Queen Mary University of London’s role as a knowledge hub will be strengthened, with stronger connections to Mile End Neighbourhood Centre and its public transport interchange. The area will be home to a more diverse range of residential and student communities, with a particular focus on family housing which will benefit from access to varied open spaces.

2.2 LP CENTRAL AREA OBJECTIVES

To achieve the vision of the Local Plan Central Area, the main objectives are:

- Ensure the North-South spine of Victoria Park and Mile End Park is protected and enhanced with walking and cycling links, whilst maximising opportunities to access the waterways for recreational use.
- Support a mix of uses in town centres to facilitate community cohesion and strengthen their role.
- Overcome the physical barriers of the road, rail and waterway network to increase connectivity within the area. Improve permeability between transport nodes and town centres to strengthen interconnected places.
- Encourage the regeneration of key historic buildings to preserve the area's diverse heritage assets and character.
- Support the expansion of Queen Mary University of London and associated uses, while ensuring good integration with surrounding areas.

CREATING ATTRACTIVE AND DISTINCTIVE PLACES

1. Create a scale and form of development that provides a consistent and coherent setting for the area it defines, and relates to the prevailing townscape.
2. Respond positively to the surrounding context including conservation areas and heritage assets which define the local character.

REVITALISING OUR TOWN CENTRES

1. Reinforce and complement the local distinctiveness of Chrisp Street District Centre, through a range of retail uses and unit sizes, in particular smaller units aimed at existing independent retail providers.
2. Contribute to the vitality and mix of uses on key major routes such as Commercial Road and Mile End Road, as well as town centres which have low commercial occupancy rates.

PROTECTING AND MANAGING OUR ENVIRONMENT

1. Support the provision of innovative waste management and recycling storage and collection systems.
2. Support the expansion of the borough's energy network by exploring the potential of creating a district heating centre in the cluster areas (Stepney, Mile End and Bethnal Green).
3. Improve the ecology of the area and ensure an overall net gain in biodiversity.

DELIVERING ECONOMIC GROWTH

1. Provide small-to-medium enterprises with a range of flexible and affordable workspace opportunities (including supporting facilities such as childcare provision) in and around town centres and transport interchanges, in particular at Bethnal Green and Mile End.

ENHANCING OPEN SPACES AND WATER SPACES

1. Provide an active edge along the waterway network, and enhance physical and visual access through sites with new or improved routes.
2. Maximise on-site provision of green infrastructure and ensure it is joined up to the green grid network.
3. Enhance the green corridor between Mile End Park and Victoria Park as well as the area surrounding the Bow Common Gas works site, through improved footways the greening of facades and incorporating trees and street planters.
4. Improve the unique ecological and historic character of the waterways, Mile End Park and Victoria Park and support their function and role as a recreational focal points for the area and the borough as a whole.

IMPROVING CONNECTIVITY & TRAVEL CHOICE

1. Contribute to/deliver new and improved high quality legible routes and public realm to reinforce north south and east west connectivity and accessibility in the area.
2. Address severance on Whitechapel Road, Commercial Road and The Highway to encourage short distance trips to be made by foot or cycle through way-finding and convenient crossing facilities.

3.0 MILE END CHARACTER

3.1 OVERVIEW

Mile End Old Town was a hamlet in the parish of Stepney, becoming a parish in its own right in 1866. In 1889 it was transferred from Middlesex to the newly created County of London and in 1900 became part of Stepney Metropolitan Borough. Stepney Metropolitan Borough was abolished in 1965, and became part of the London Borough of Tower Hamlets in Greater London. It developed on the London to Colchester road as one of the earliest suburbs of the City of London. It was named in the 13th century and the “mile” in its name refers to its distance from Aldgate.

The area boasts an unusual landmark, the “Green Bridge” (known affectionately as the banana bridge, due to its yellow underside). This structure, designed by CZWG Architects and opening in 2000, allows Mile End Park to cross over the Mile End Road and makes an interesting contrast with the more usual approach of building bridges for cars. It contains garden and water features and some shops and restaurant space built in below

Mile End Road is an arterial route into the City of London through the heart of the East End. The industrial revolution and development of the docklands brought with it new industries and dense urbanisation. However, by the second half of the 19th century the area was characterised with poor quality housing. Slum clearances, the blitz and post-war estates changed the urban landscape before the decline of the docks; and the industry along the Regent’s Canal brought about further decline to the area in the 1970s and 80s. Since then, there has been steady development along the Mile End Road which has seen an general increase in scale and height of buildings along this corridor route.

Queen Mary University London fronts onto the Mile End Road with the Mile End Campus and has contributed to a gradual change in the character of the road over the last century.

- ← - - - major roads
- ← - - - - railway line
- open green spaces
- - - - area boundary
- ← - - - - cycle superhighway
- - - - Queen Mary University Mile End campus
- ⊖ underground stations
- ⊕ DLR stations
- district centres
- Mile End area
- neighbourhood centre



Central sub-area of Tower Hamlets



Bancroft Road



Bancroft Road



Moody Street



Pedestrian Bridge over Regent's Canal



Mile End Road



Roman Road



Grove Road



Mile End Road



Mile End Road

3.0 MILE END CHARACTER

3.2 BUILT HERITAGE AND TOWNSCAPE

The Mile End Campus has a rich and diverse history that spans many centuries; and it holds the story of the East End London as a place of industry, institutional uses and with strong associations with the Spanish and Portuguese Jewish community. The campus is historically the home of Queen Mary College, which began life in 1887 as the People's Palace, a philanthropic centre to provide east Londoners with educational, cultural and social activities. This building is now known as the Queens' Building around which the first parts of the campus were developed.

A new People's Palace was constructed to the west of the Queens' Building in the 1930s. During the 1960s, the Engineering Building and other significant developments arose to the west of the People's Palace. From the 1980s, the campus expanded further east with the Library and 'Arts' buildings completing the current layout, along with the later canalside residential buildings completed in the mid-1990s. The Westfield Student Village, completed in 2005/7, extended the residential quarter to the north along the canal up to the railway line.

The eastern edge of the campus sits within the Regent's Canal Conservation Area. There are also a number of listed buildings and structures on the campus, most notably the Queens' Building and Clock Tower; as well as a Spanish Portuguese Jewish cemetery, known as the Novo Cemetery, and associated listed cemetery walls. This cemetery dates from 1726 and is the second oldest surviving Jewish cemetery in England.

The original extent of the Grade II listed Novo Cemetery has been substantially reduced during expansion of QMUL, and therefore, there is below ground archaeological potential in and around this part of the campus. The University site falls within Tier 1 and Tier 2 Archaeological Priority Areas, indicating that there is a high potential for the discovery of significant below-ground remains that should be considered when developing any of the sites.

Existing historical boundaries and walls should be recognised, including walls and railings along Mile End Road in front of the Queen Mary Building and Student's Union building, and walls to the northern and western sides of the site, including a gate opening adjacent to the Geography building. The Grade II listed perimeter wall of the Novo Cemetery should be carefully considered and incorporated in all future developments.



1870s



1960s



1910s



Aerial view of the Mile End Campus illustrates the original extent of the Novo Cemetery, 1978

1. REGENT'S CANAL CONSERVATION AREA

The Regent's Canal Conservation Area is a linear conservation area with its boundaries drawn tightly around the Canal and features associated with it including bridges, locks, lock cottages, warehouses and industrial features such as the Bethnal Green gasholders. It is the association between all these elements which form part of the canals special character and interest. Historically the Canal had an industrial role and was a commercial venture today it provides a significant resource for leisure, with the opportunity to walk or cycle along the towpath or cruise along the canal.

The QMUL site includes and neighbours a unique surviving group of canal heritage assets:

- The 1820 Globe Bridge;
- Tall walls on the towpath side;
- 357 Mile End Road - John Gardners house and office built in 1820;
- The canal edge and towpath;
- Mile End Lock;
- The 1864 Mile End Lock Keeper's Cottage.

Preserving and enhancing the Borough's historic built heritage is of vital importance in understanding the past and allowing it to inform our present and future. Refer to Regent's Canal Conservation Area Appraisal for more detail.

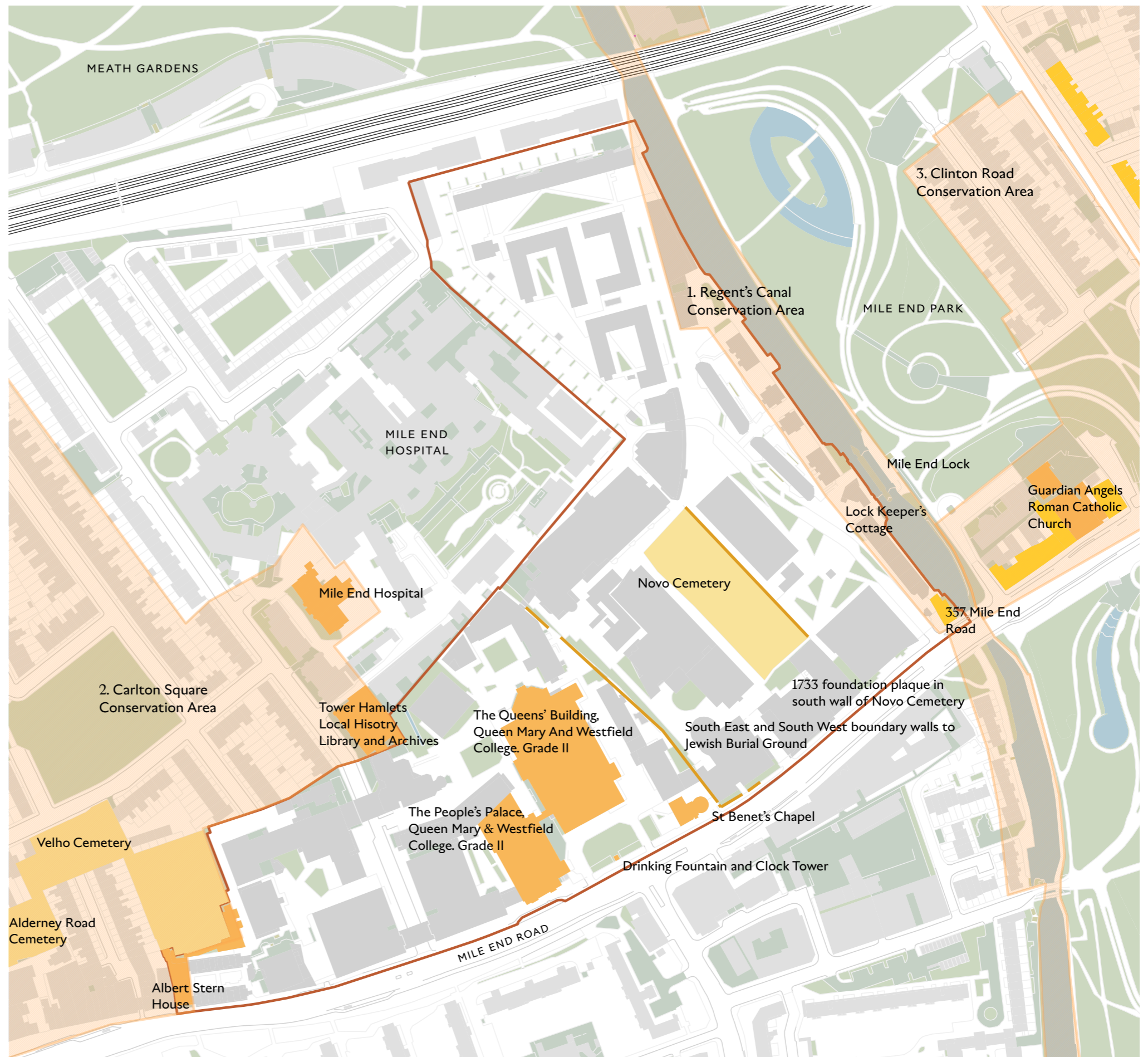
2. CARLTON SQUARE CONSERVATION AREA

The Carlton Square Conservation Area is an area of particular special architectural and historic interest, illustrated by its rich history and significant architecture dating from the 19th Century. It has a cohesive group of mid to late Victorian housing, which remain largely intact despite war damage and redevelopment. Two Grade II Listed buildings exist along Bancroft Road, one being part of the namely Mile End Hospital, and the other being the Tower Hamlets Local History Library & Archives building. Tower Hamlets Library.

3. CLINTON ROAD CONSERVATION AREA

The Clinton Road Conservation Area includes the surviving Clinton Road townscape, as with given that much of the adjacent early terrace housing was cleared for the provision of open space, now occupied by Mile End Parkland. The area is defined by two distinct townscapes: Victorian style terraces which contrast the Mile End Road and early 19th century Georgian style terraces. Refer to the Clinton Road Conservation Area Appraisal for more detail.

- | | | | |
|---|-------------------------|---|--------------------------|
|  | Conservation area |  | Grade II listed cemetery |
|  | Locally listed building |  | Grade II listed building |



3.0 MILE END CHARACTER

3.3 ZONES ADJACENT TO THE CAMPUS

MILE END PARK



Mile End Park is a linear park of some 32 hectares and was created on industrial land devastated by World War II bombing. The park follows the Regent's Canal from Victoria Park to Limehouse Basin. The Green Bridge, a pedestrian bridge over the Mile End Road, which bisects the park close to Mile End tube station, opened in 2000.

The meadows and woodland throughout the park support a diversity of wildlife, including birds, butterflies and bees. The park is also home to several pavilions and a mound providing views of the local area. The Mile End Campus has a prominent frontage facing the park that stretches some 350m in length.

MEATH GARDENS



Meath Gardens (formerly the privately-owned Victoria Park Cemetery) was founded in 1842. The garden was renamed Meath Gardens after the Earl of Meath, who was the Chairman of MPGA. The gardens opened on 20 July 1894 by the Duke of York, the 'greater proportion laid out as garden, and the remainder devoted to large children's playgrounds.'

Today Meath Gardens is bordered by a railway mainline; and, new 1950s residential buildings to the north and west. The Roman Road pedestrian bridge links Meath Gardens to the Mile End Park, although there is currently poor access from the south due to the severance of the railway line.

RESIDENTIAL AREAS



The Carlton Square Conservation Area is characterised by a cohesive group of mid to late Victorian housing, which remain largely intact despite war damage and redevelopment. The Victorian terrace houses are generally two storeys and raised on a semi-basement. The Ocean estate comprises of eight 1960s residential blocks fronting the Mile End Road opposite the campus.

MILE END HOSPITAL



The Workhouse on the Bancroft Road site was built by the Board of Guardians of Mile End Old Town in 1858 - 1859. The foundation stone of the new Mile End Workhouse Infirmary, erected under the powers conferred by the Metropolitan Poor Act, 1867, was laid in February 1881, and it was opened in March 1883. A Nurse Training School was established in 1892.

The institution was taken over by the military authorities during the First World War. During the military occupation, the facilities of the hospital were considerably improved. Today, the hospital forms part of Barts NHS trust and comprises a collection of buildings from various eras. Although much of the public realm contains car parking, at the heart of the hospital site is a maturely planted square and a Grade II listed building. A high boundary wall limits accessibility between the hospital and the university campus.

REGENT'S CANAL



The Regent's Canal is of special interest, both as a heritage asset and as a community asset, providing a traffic free route for primarily pedestrians and also cyclists to travel across the borough, and an access to green spaces. Architecture is varied in style and scale and includes a rich mix of new and historic developments, reflecting a commercial and industrial heritage.

The predominant material for buildings along the canal is brick, particularly the 19th century industrial buildings. Concrete and painted render is also widely used for early 20th century buildings. More recent buildings use a variety of materials including brick, insulated render, timber cladding, copper etc.

MILE END ROAD



Mile End Road is an arterial route into the City of London through the heart of the East End. The industrial revolution and development of the docklands brought with it new industries and dense urbanisation. However, by the second half of the 19th century the area was grossly overcrowded with poor quality housing. Slum clearances, the blitz and post-war estates changed the urban landscape, before the decline of the docks, and the industry along the Regent's Canal in the 1970s and 1980s, which brought about further decline change to the area in the 1970s and 80s. In more recent years, there has been steady development along the Mile End Road which has seen a general increase in scale and height of buildings along this corridor route. The university's Mile End Campus occupies a significant section of frontage along the northern side of Mile End Road and development on the campus and has contributed to a gradual change in the character of the road over the last century.

4.0 QUEEN MARY'S ROLE IN THE BOROUGH

4.1 QUEEN MARY'S HISTORY

The University has its roots in four historic institutions dating back to 1785: Queen Mary College, Westfield College, St Bartholomew's Hospital Medical College and the London Hospital Medical College.

Queen Mary is the only campus-based Russell Group University in London, and its history is reflected in the location of the university across five campuses; Mile End, Whitechapel, Charterhouse Square, West Smithfield and Lincoln's Inn Fields.

All four institutions were originally founded to improve the lives of people with less privilege. St Bartholomew's Hospital Medical College and The London Hospital Medical College were established to improve the health of the local communities in the City and east London. Westfield College and Queen Mary College provided education to women and working-class communities in the East End, respectively, at a time when these groups faced extreme barriers to education.

Until relatively recently the Mile End Campus was bounded to the east by the Novo Jewish Cemetery. The land between the cemetery and the canal was industrial and this heritage is reflected in Ordnance Survey maps which still refer to the area as 'Commercial Wharf'.

4.2 QUEEN MARY TODAY

Queen Mary University of London is one of the UK's leading research-focused higher education institutions; and is one of 24 Russell Group research-led institutions. The university is also one of the largest University of London Colleges with more than 27,000 students, 4,500 staff and 240 degree programmes.

Over 70% of students come from within 25km of the main campus, and therefore, it serves a strategic role within the local higher education sector in the East

End of London. It also provides an important role in promoting social mobility, with 57% of home students being the first in their family to go to university. It is one of the most diverse universities in the UK, with 160 nationalities represented amongst its student population.

QMUL have set out a strategy to become the most inclusive university of its kind by 2030, and to remain the most diverse Russell Group university. This includes a commitment to recruit students from backgrounds currently under-represented within Russell Group institutions, and to further develop, enhance and champion the international diversity present within their campuses.

With Tower Hamlets projected to be one of the fastest growing boroughs over the next 10 years, it is expected that this will drive increasing demand for higher education opportunities within the borough. The university is structured around three primary faculties: Humanities and Social Sciences; Science and Engineering; and the School of Medicine and Dentistry.

In the most recent Research Excellence Framework, QMUL were ranked 5th in the country for the proportion of research outputs that were world leading or internationally excellent.

The Mile End Campus is the largest and busiest of QMUL's campuses with a strongly identifiable university atmosphere. The campus primarily serves the faculties of Science and Engineering and Humanities and Social Sciences.

The campus is largely self-contained, providing a wide range of facilities on site. Students also benefit from the Mile End Park to the east. The self-contained campus is a model that is unusual for London but more common in the USA; and this can present some issues that the SPD seeks to address, such as how to avoid it feeling like an island; and how to make it more accessible and welcoming to local residents.

4.3 SPACE ISSUES

Queen Mary has experienced a period of rapid growth in student recruitment over recent years. On campus, student numbers grew by a third in the years from 2013-14 to 2017-18.

Over the same time period, there was very little change in the estate either in terms of its size or in terms of upgrading and reconfiguring existing buildings. There are also associated shortfalls in support spaces, community spaces and student facilities.

Analysis of space data for the leading London institutions (including Imperial College London, University College London, Kings College London, London School of Economics and Queen Mary University of London) shows that overall, QMUL has less space per student and staff than the median average.

The university also has much less non-office support space per student full time equivalent (FTE) than the median - 39% less than the Russell Group as a whole and 27% less than the London group. Non-office support space includes library, catering, social, social learning, sport and central student services. Consultation feedback from the university has highlighted shortages of these space types as a key issue for internal stakeholders.

A lack of academic space has been identified as a key constraint holding back the university and its ability to improve the range and quality of its offer. Mile End Campus is the largest of Queen Mary's campuses and it is the administrative core of the institution. It therefore offers the most significant opportunity for improving facilities and accommodating growth and investment within the borough.

4.4 FACILITATING GROWTH

The SPD seeks to address needs arising from this recent growth, and to identify opportunities to accommodate future growth while ensuring development is coherent, and delivers benefits to the local area so that all can share in the successes of the institution.

Projections show a 12,000 increase in taught students across QMUL from 2018 to 2030. Mile End campus full time equivalents are projected to rise by around 60% from 15,200 to 24,400 by 2030.

Sitting between Mile End Road, the railway, Regent's Canal and the Mile End Hospital, the campus has limited opportunities to expand

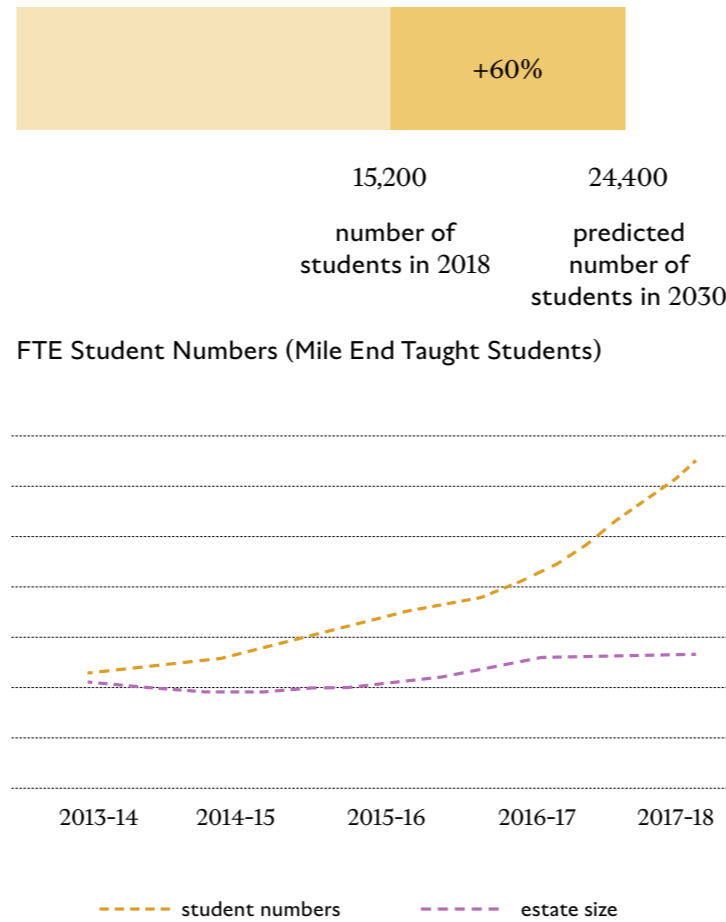
outside its current borders, and therefore, a carefully considered and efficient strategy of renewal within the current site is needed.

This SPD has identified opportunities for new buildings on the Mile End Campus alongside improvements and extensions to the existing buildings, spaces and infrastructure. Whilst the 2020 Covid-19 pandemic has had a short-term impact on student activity and numbers on Campus, this is not expected to be a long-term issue.

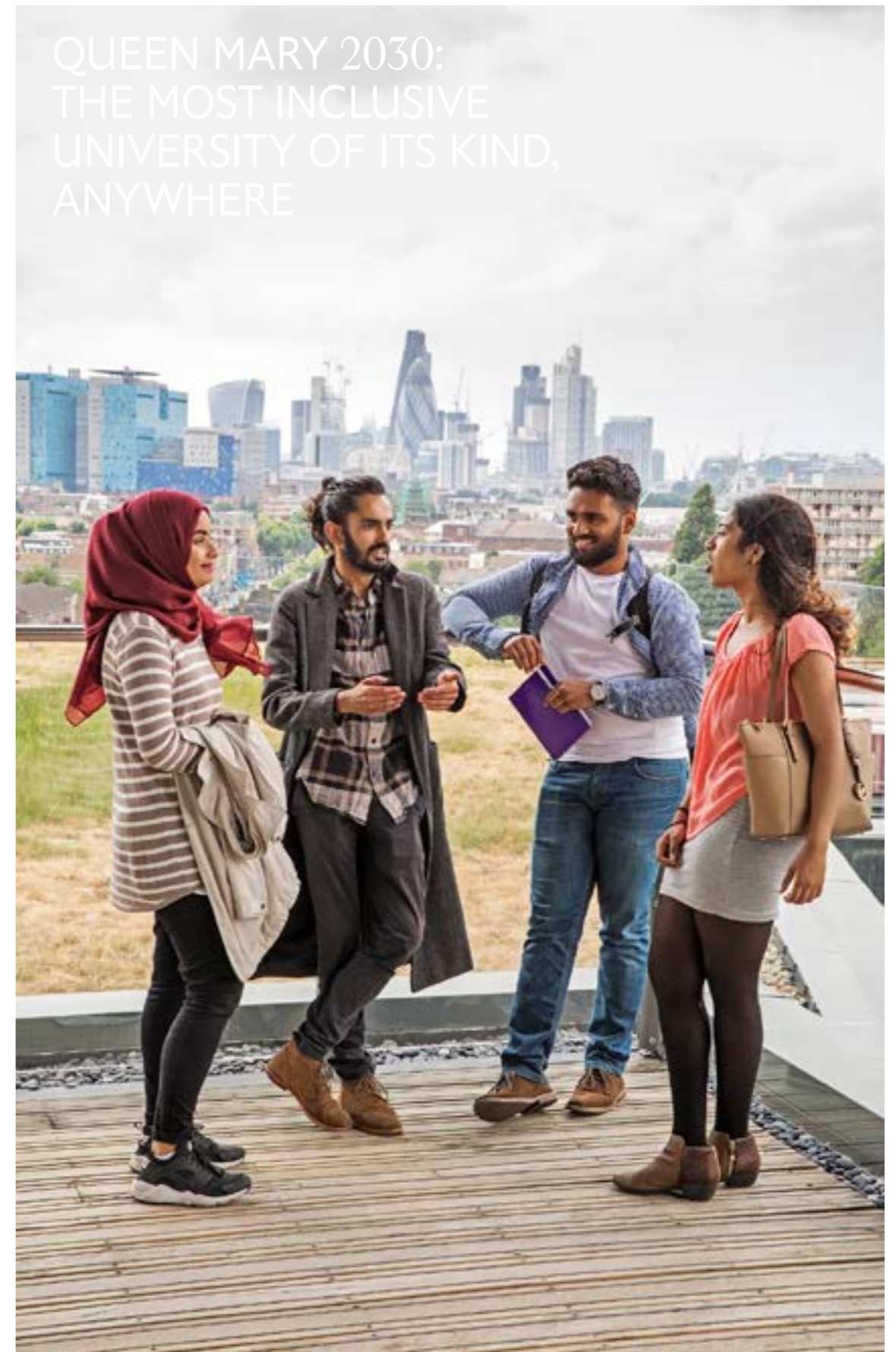
4.5 QUEEN MARY'S SOCIOECONOMIC VALUE

The University is a key economic, social and educational driver for the immediate community and wider to LBTH. Access to high quality education can have a profound effect on people's life chances and is one of the most powerful ways to break down inequalities and improve social mobility. QMUL has a unique undergraduate population profile, especially given the Russell Group status:

- 30% of all first year UK based students are from East London of which 85% are from BAME backgrounds;
- QMUL has the highest BAME enrolments of all Russell Group Universities and the 7th largest BAME enrolments across all UK HEIs;
- A third of students recruited from LBTH are from neighbourhoods ranked in the 20% most deprived in England;
- Over 30% of QMUL students are from households where household income is less than £15k and 27% come from families with a household income of less than £10k when average UK household income is £29,600;
- 65% of QMUL student population had parents who had no HE qualification (compared to 43% England average).



Student numbers and estate size % growth since 2013/14



5.0 MILE END CAMPUS CHARACTER

5.1 OVERVIEW

The Mile End Campus is the largest and busiest of QMUL's five campuses with over 15,000 students based on campus and 1,747 student bedspaces. The campus comprises 120,207 sqm of non-residential accommodation.

The campus is comprised of a variety of buildings that have evolved around the academic and civic core of the Queens' Building and People's Palace. The public lawns to the front of the Queens' Building provide a formal arrival point used for events and graduation photos, however the majority of visitors access the campus via more informal gateways to the east and west closer to the tube stations at Mile End and Stepney respectively.

The character and quality of the buildings across the campus is varied and this reflects how the university has evolved over time. Away from the civic core is a network of pathways, squares and courts that vary in size and quality but lend the campus a collegiate atmosphere; and one that is largely pedestrianised.

Whilst the variety of building types and, materials, and character of some green spaces, provide positive aspects of the campus, the introduction of some coherence and improving legibility would significantly improve the user experience. Towards the centre of the campus is the Novo Jewish Cemetery, a sacred landmark of historic importance and an oasis of calm that bursts into life with blooms of bluebells in the spring.

Navigating across or through the campus can be frustrating in certain locations, with pinch points and barriers that cause blockages to key routes and desire paths. The public spaces within the campus are a good raw material to build upon to successfully link all academic spaces together, and improve movement and flow for students, staff and visitors.

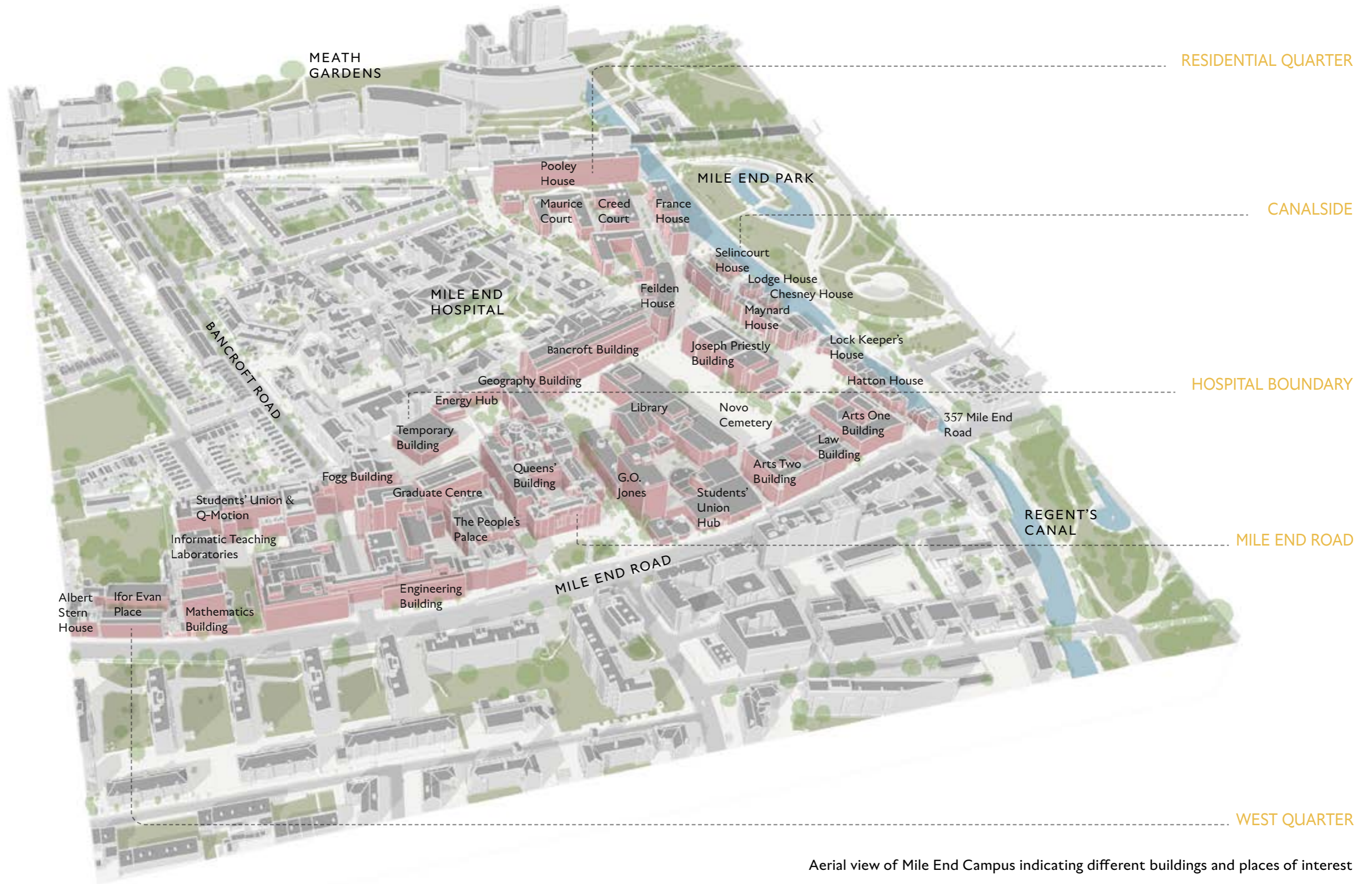
The campus forms a long and prominent frontage to the busy Mile End Road, beyond which buildings and spaces open up to form the centre of the campus. Despite this frontage and secondary frontages to Bancroft Road, the street-level experience lacks active frontages onto the public realm. This is a missed opportunity given the range of interesting research and teaching activities that occur within the campus.

The campus also shares a border with the Regent's Canal and Mile End Park, providing a sense of openness to the east. The green spaces, towpath and walkways within the park and along the eastern side of the canal are an important and popular asset for the local community. However, the towpath and public spaces fronting the canal on campus are currently underutilised and offer significant potential for improvement.

Currently the campus can, in places, seem somewhat closed and unwelcoming for passers by, and therefore, there is a real opportunity to use this SPD as a catalyst for change towards a more open and integrated public space.

There are genuine concerns around security and antisocial behaviour in and around the campus, but it is important that security infrastructure is integrated successfully in the public realm and that passive measures are also promoted through good design.





Aerial view of Mile End Campus indicating different buildings and places of interest

5.0 MILE END CAMPUS CHARACTER

5.2 CAMPUS ZONES

WEST QUARTER

Campus estate either side of Bancroft Road and adjacent to Velho Cemetery, comprising of teaching spaces; sports facilities, the student union shop; and student accommodation within Albert Stern House and Ifor Evans Place.



View looking down the Mile End road and Albert Stern House

HOSPITAL EDGE

Campus estate backing onto Mile End Hospital linked by Graduate square, Geography square and Library square comprising of G.E.Fogg building, Graduate Centre, Temporary building, Energy Hub, Geography building and the rear of Queens' building.



View looking towards Graduate Centre and Fogg Building

MILE END ROAD

Campus estate forming the 'heart' of the campus, fronting Mile End Road and surrounding the Queens' Building and the People's Palace.



View looking west of Mile End road and the Engineering Building

CANAL EDGE

Campus estate facing the Regent's Canal, comprising of student accommodation and some teaching spaces. Buildings back onto the Canal edge with hard narrow path and limited access to green spaces.



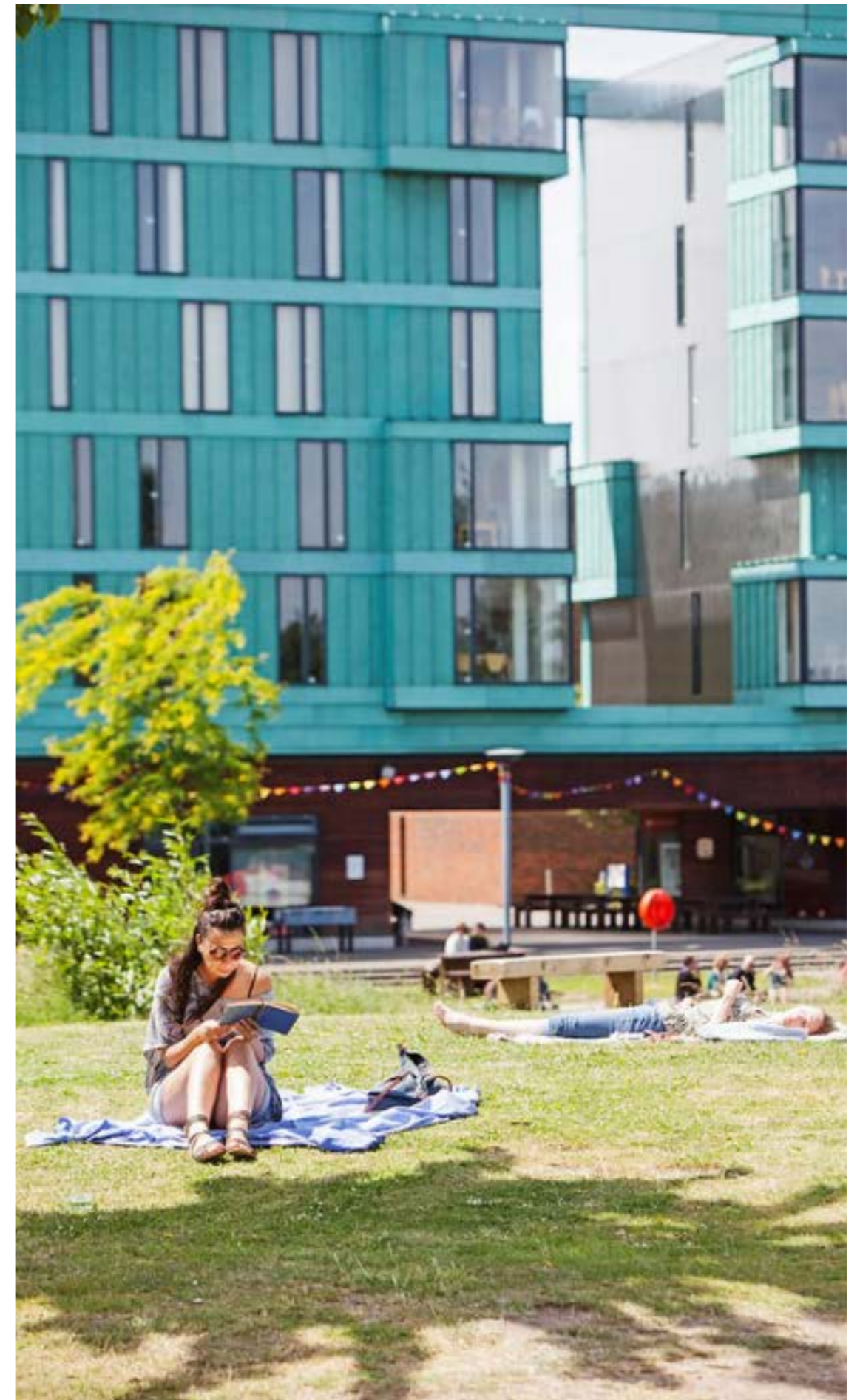
View looking to the Regent's Canal edge and France House

RESIDENTIAL QUARTER

Campus estate to the north of the campus between the Regent's Canal and Longnor Road residential estate, comprising of student accommodation.



View inside the courtyard of Maurice Court

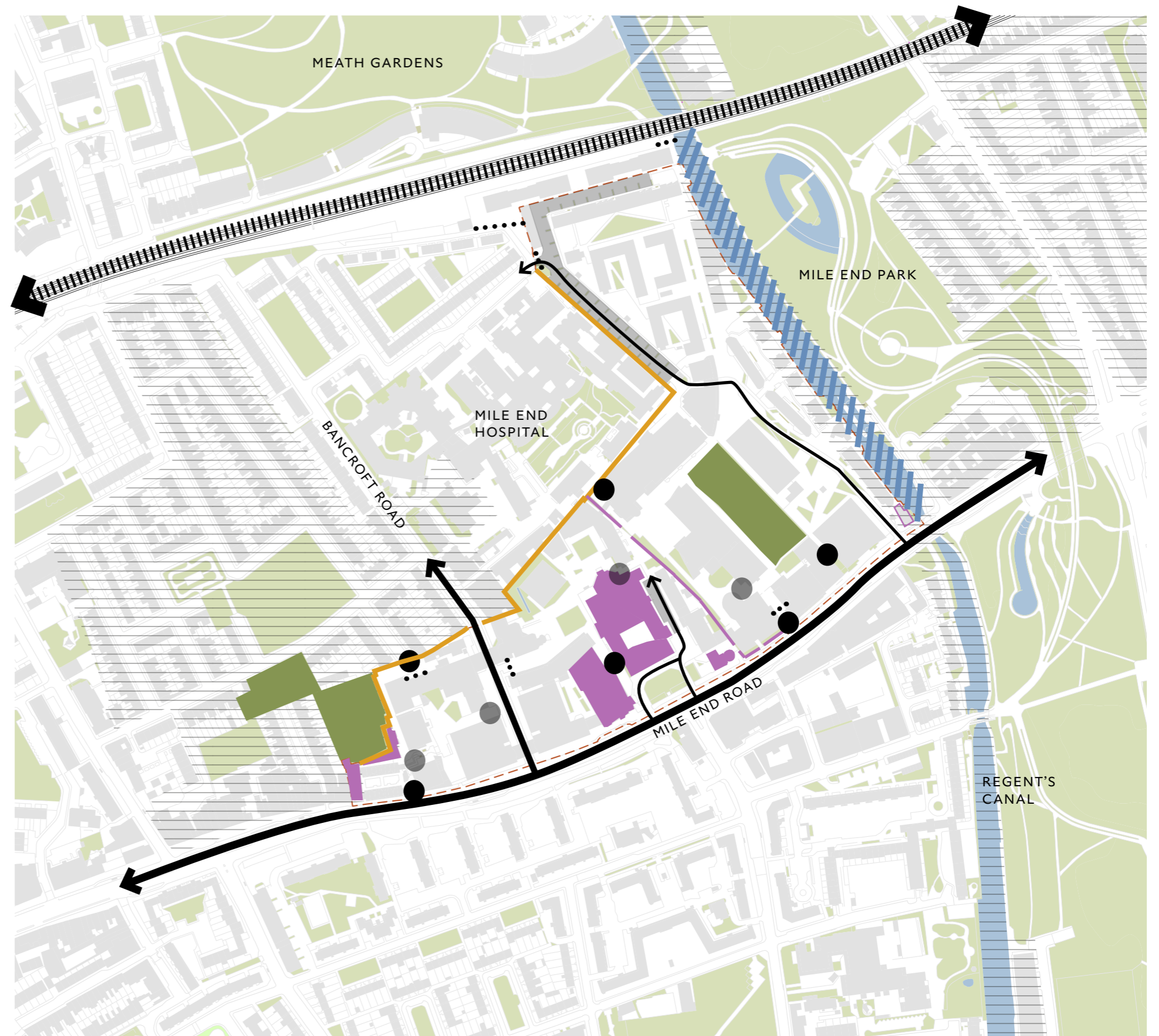


5.0 MILE END CAMPUS CHARACTER

5.3 CONSTRAINTS

- Limited gateways and outward-facing entrances along Mile End Road create extensive blank facades.
- The rail line, Mile End Road and Regent's Canal create restrictive edges and barriers to movement.
- The interface with Mile End Hospital and the residential areas to the north and west generally have restrictive and negative boundaries.
- Legibility and way-finding is generally poor in certain locations, creating fragmentation within campus.
- Heritage assets are overlooked in certain areas.
- Public realm is 'leaky' in certain areas and there is a lack of distinctive character .
- Car parking within public realm is poorly located.
- Interaction between the canal and campus is limited in terms of access and views.
- Planting is generally limited in terms of biodiversity or seasonal interest.

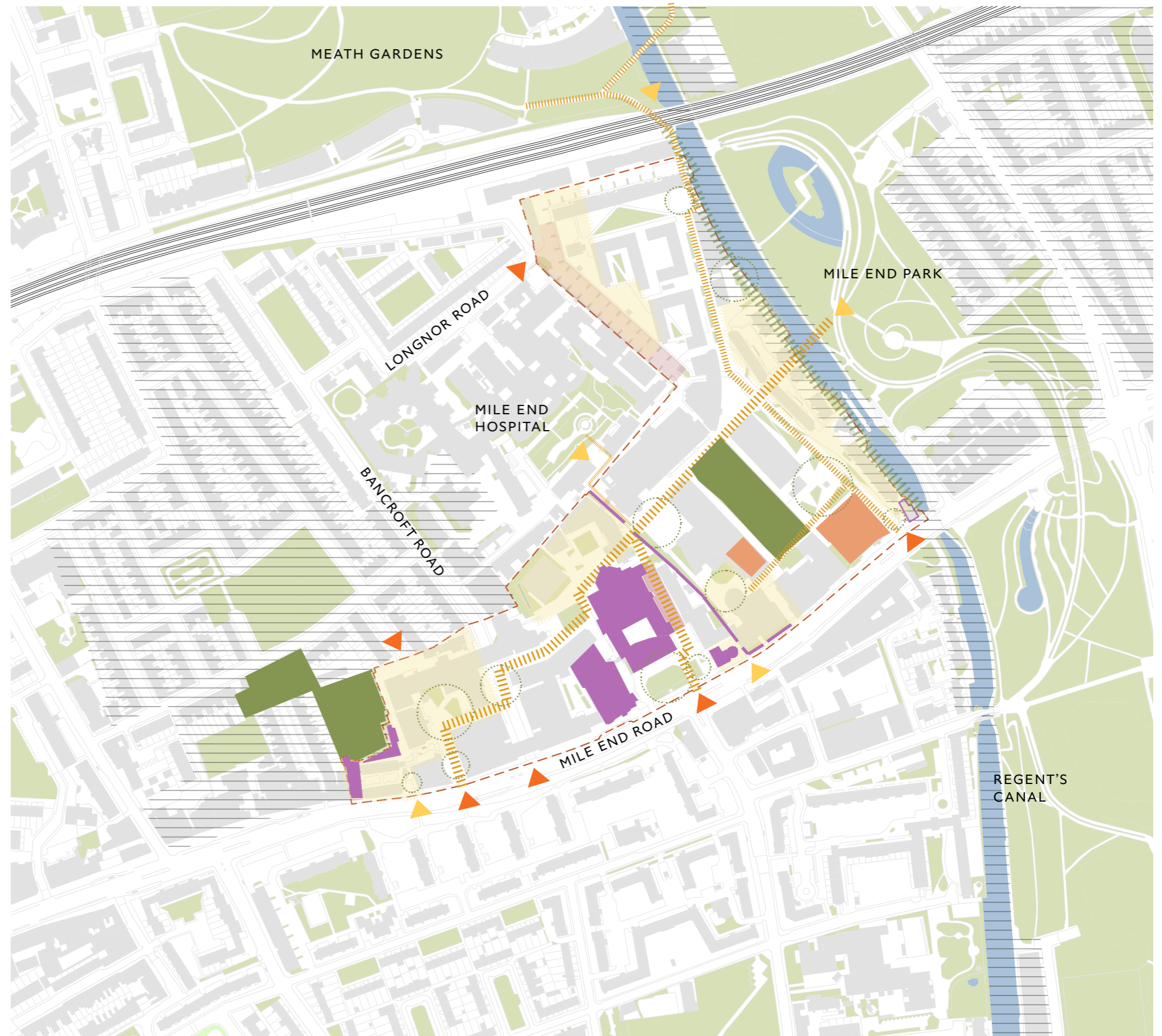
- conservation area
- listed building
- locally listed building
- listed wall
- listed cemetery
- vehicle access
- ||||| railway line
- canal
- boundary wall
- parking
- barrier to pedestrian movement
- pinch point / poor legibility
- gate



5.4 OPPORTUNITIES

- Create a more outward-facing campus with improved gateways and connections to the Mile End Hospital, adjacent communities, the Regent's Canal and Mile End Park.
- Create a distinct character and meaning to each space, including a continuation of key materials and details.
- Align development opportunities with improved campus-wide circulation and legibility.
- Celebrate heritage assets more successfully, considering views to key facades/monuments, enhanced lighting and landscape treatment, heritage trails and artworks.
- Re-assess the amount and location of car parking within the public realm to enhance the pedestrian experience.
- Improve the campus relationship with the Regent's Canal including better access and views. Enhance biodiversity and ecological opportunities, focusing on key locations.

- conservation area
- listed building
- locally listed building
- listed wall
- listed cemetery
- ||||| landscape enhancement
- ||||| main pedestrian links
- ▲ new campus gateway
- ▲ improved existing campus gateway
- enhancement to public space
- removed car parking
- potential for refurbishment
- potential for new development



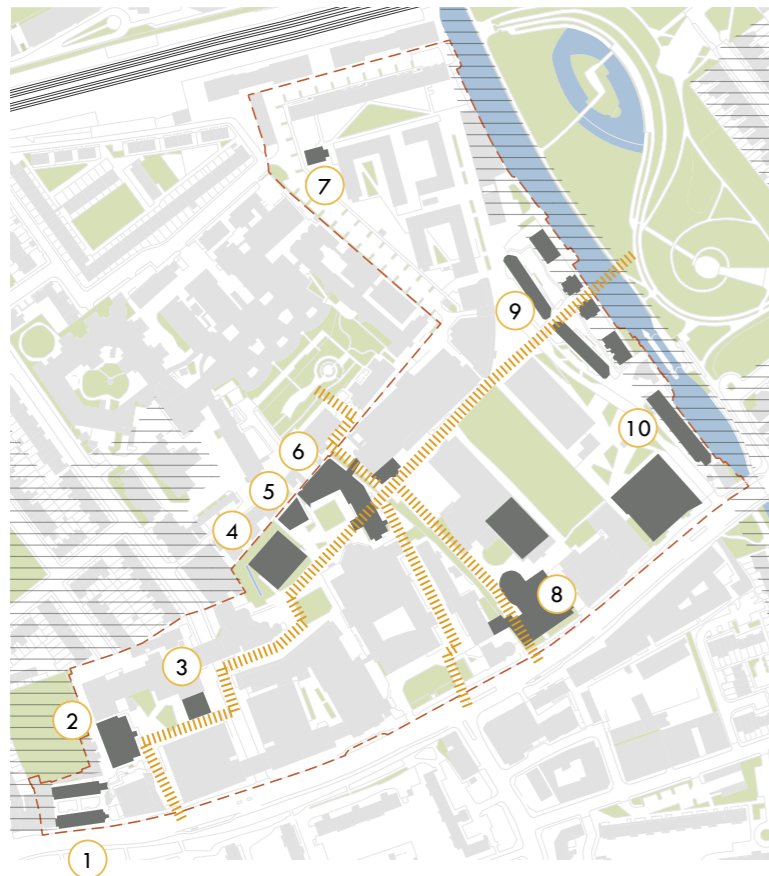
5.0 MILE END CAMPUS CHARACTER

5.5 POTENTIAL DEVELOPMENT OPPORTUNITIES

There are very few undeveloped sites within the campus, and therefore, to accommodate any form of expansion to the campus estate, an appraisal of redundant or poor performing buildings is required in order to establish opportunities for development or extension.

Providing intensification of academic functions within the Mile End Campus would make the most efficient use of land and colocated benefits with other core university functions.

The map below indicates sites that have the highest potential for redevelopment or expansion over the next ten years.



① IFOR EVANS PLACE

- Opportunity to allocate the site for teaching space, given that student accommodation will be relocated to other sites on and off campus
- The blank street facade is not contributing positively to Mile End Road.



③ STUDENTS' UNION SHOP

- Blank facade onto Bancroft Road
- Opportunity for a higher and more efficient building that better integrates with the Bancroft Road streetscape and improved public realm



② INFORMATICS BUILDING

- Outdated teaching space
- The building does not positively engage with listed cemetery
- Poor quality public square and a lack of biodiversity
- The need for more efficient space and better performing building



④ TEMPORARY TEACHING SPACE

- A temporary solution/structure
- An opportunity for increased floorspace and improved teaching facilities



5 ENERGY CENTRE

- Not yet in operation
- To support London Plan carbon targets, it is envisaged the Energy Centre will distribute low carbon heat energy from on and off site sources, around the campus
- The gas fired CHP energy centre was built before the new London Plan was adopted, and therefore, it would be replaced with a fossil fuel free heating system as the estate decarbonises



6 GEOGRAPHY BUILDING

- The shape and location of the building creates a pinch point that restricts east-west pedestrian movement across the campus
- The building does not positively integrate with the rear of the Queens' Building



7 ACCOMMODATION BLOCK

- The building provides good quality student accommodation
- Opportunity to integrate new student accommodation buildings on underdeveloped parts of the site



8 STUDENTS' UNION ON MILE END ROAD

- Low quality and outdated space
- The building does not positively incorporate the Grade II listed cemetery wall
- The building does not positively relate to Mile End Road and provides a blank facade
- The building does not allow for an entrance to the campus from Mile End Road
- Opportunity of increased floorspace and improved facilities



9 SELINCOURT/MAYNARD HOUSE & ADJACENT RESIDENCES

- Student accommodation no longer meets expectations of quality, efficiency and accessibility
- Buildings have a defensive quality along key public routes, with no active frontages to the canal or Westfield Way
- The relocation of student residences on and off the campus presents the opportunity to provide additional academic space on this public-facing site



10 HATTON HOUSE

- Student accommodation no longer meets expectations of quality, efficiency and accessibility
- Building has a defensive quality along key public routes, with no active frontages to the canal or Westfield Way
- The relocation of student residences on and off the campus presents the opportunity to provide additional academic space on this public-facing site

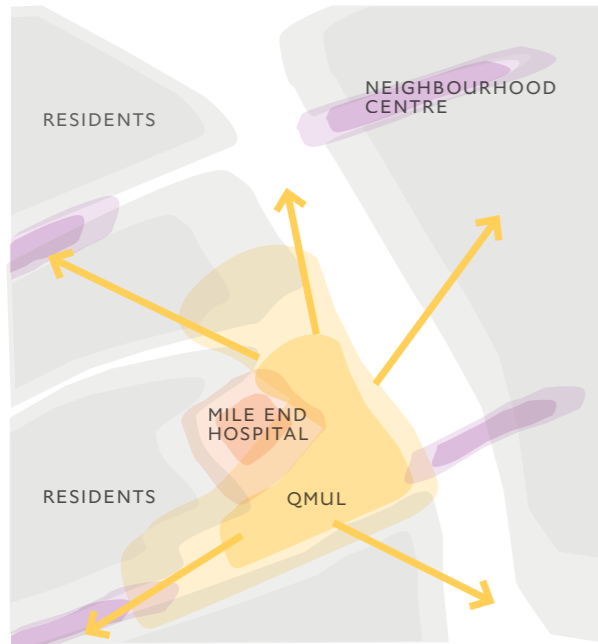




SECTION B

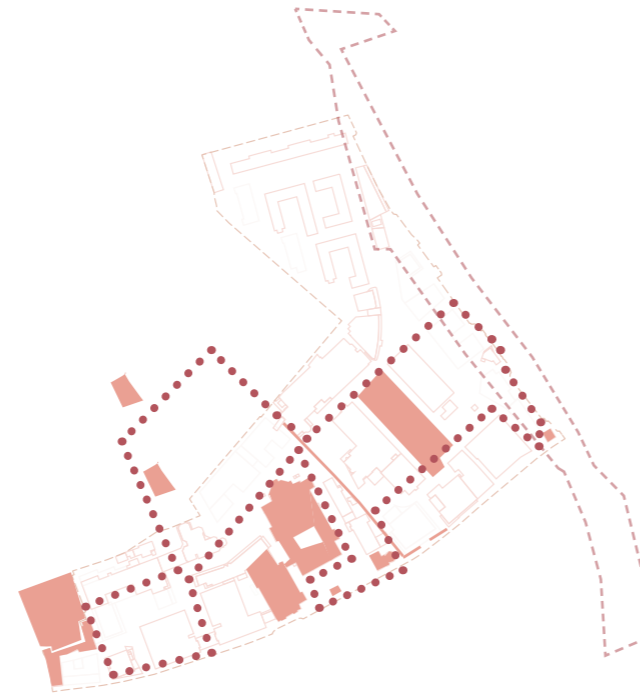
AREA-WIDE PRIORITIES

1.0 MASTERPLAN OBJECTIVES



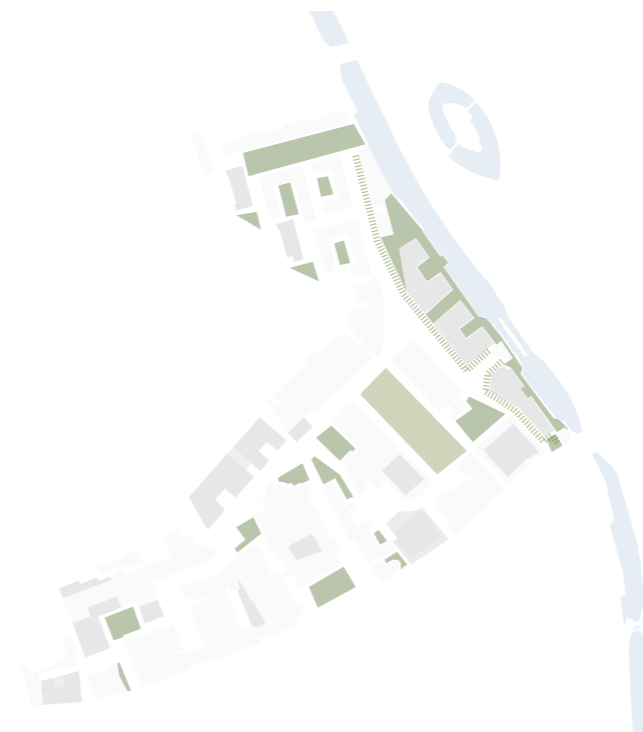
1. Strengthening community

- Weave the Mile End Campus within the local community and ensure new development improves public access.
- Create a more welcoming campus environment.
- Expand support and outreach to local businesses and community groups.



2. Protect and enhance heritage assets

- Improve the public realm setting and protection of existing heritage assets.
- Celebrate built heritage alongside people's history and make these more accessible to the public through legible interpretation and a heritage trail.
- Preserve and enhance the unique setting of the Alderney Road, Velho and Novo Cemeteries.
- Preserve and enhance the setting of the Regent's Canal and other heritage assets within the the Regent's Canal Conservation Area.



3. Improving public realm and ecology

- Improve the legibility and connections between public open spaces on the campus.
- Strengthen public access for the local community and improve links to canalside green spaces.
- Welcome local residents and other members of the public community to use and enjoy the public realm.
- Improve existing biodiversity and expand the amount of space allocated for biodiverse habitats.



4. Improving wellbeing & linking to existing green spaces

- Improve links between existing parks and the campus to improve opportunities for recreational use and health & well-being activities.
- Improve access to Mile End Park and Meath Gardens for residents to the north and west of the campus.
- Introduce new facilities for sports and leisure activities on site.



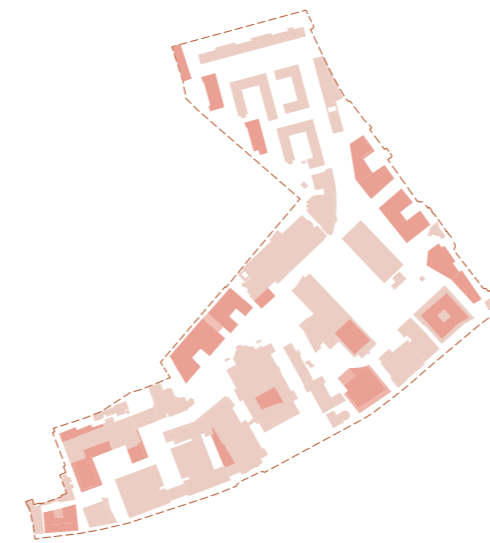
5. Active frontages & improved permeability

- Animate key routes with active frontages at ground floor level, offering an improved street-level experience and passive surveillance.
- Improve the quality of entrances onto the campus to create a more welcoming environment.



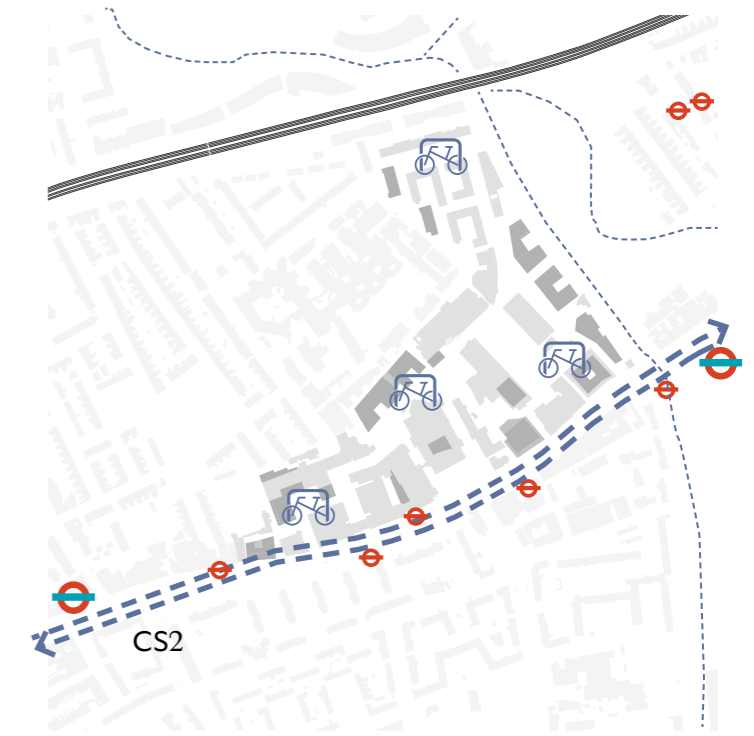
6. East-West and North-South axis, improved pedestrian movement

- Seek opportunities to improve pedestrian links to the Mile End Hospital and daytime routes through the campus for students, staff and the public, while ensuring good management and security. Security infrastructure should be sensitively integrated within the public realm design.
- Create strong and legible pedestrian and cycle links through the campus to surrounding areas and facilities, including a new North-South and East-West movement axis through the campus.



7. Strategic & coherent growth

- Deliver a strategic and comprehensive plan for development whilst protecting heritage and reconnecting to the community.
- Increase the capacity of Mile End Campus to support the quality of teaching offered by QMUL and allow for sustainable long-term growth.
- Ensure available land is used as efficiently as possible.
- Deliver low-carbon infrastructure, improve energy efficiency of existing buildings and ensure new buildings are sustainable.



8. Sustainable transport infrastructure

- Promote sustainable means of travel, encouraging greater use of public transport, walking and cycling.
- Ensure that the growth of the campus does not negatively impact existing transport infrastructure.
- Introduce excellent cycle parking facilities.
- Reduce provision of car parking on site.

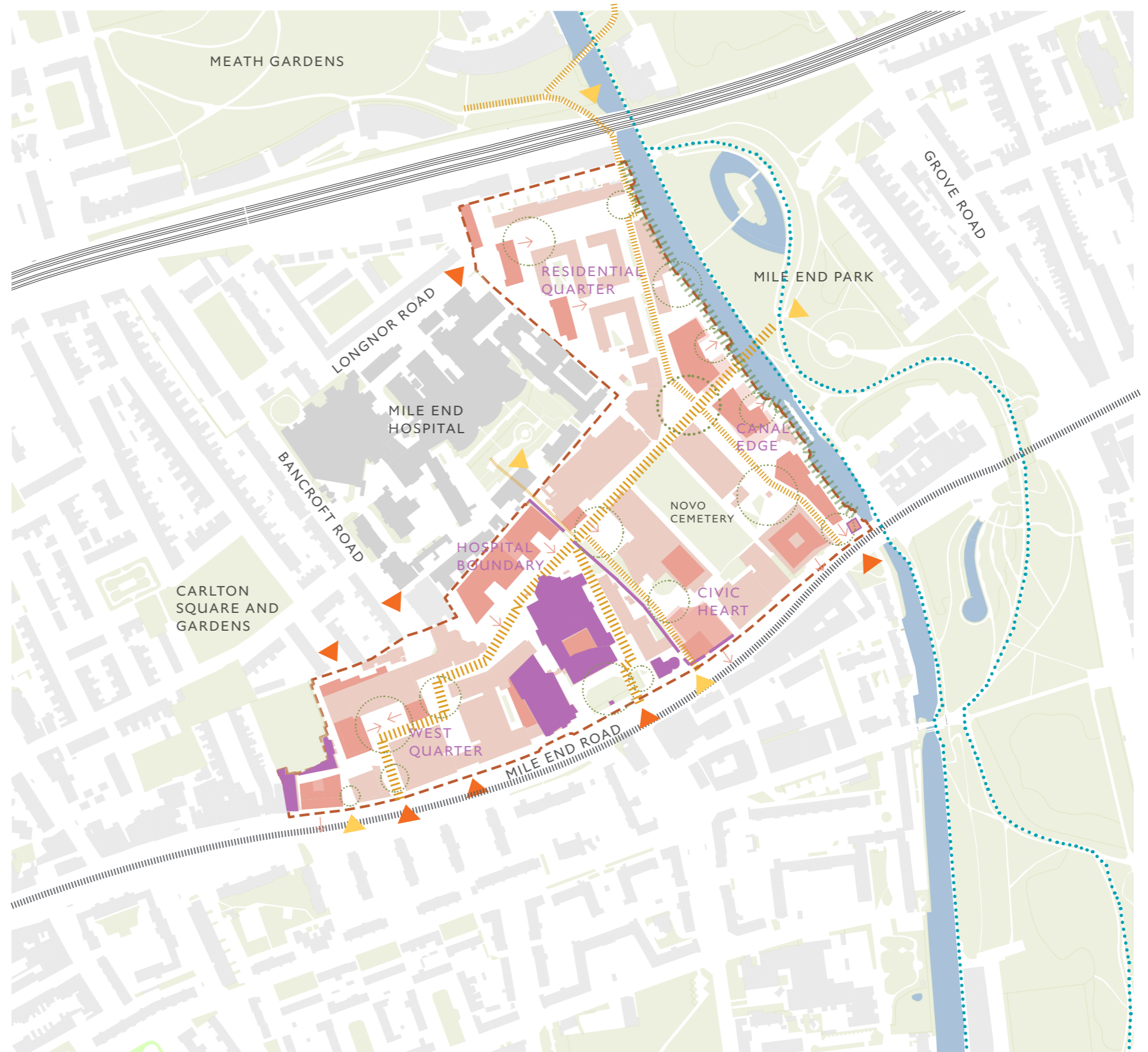
2.0 MASTERPLAN VISION

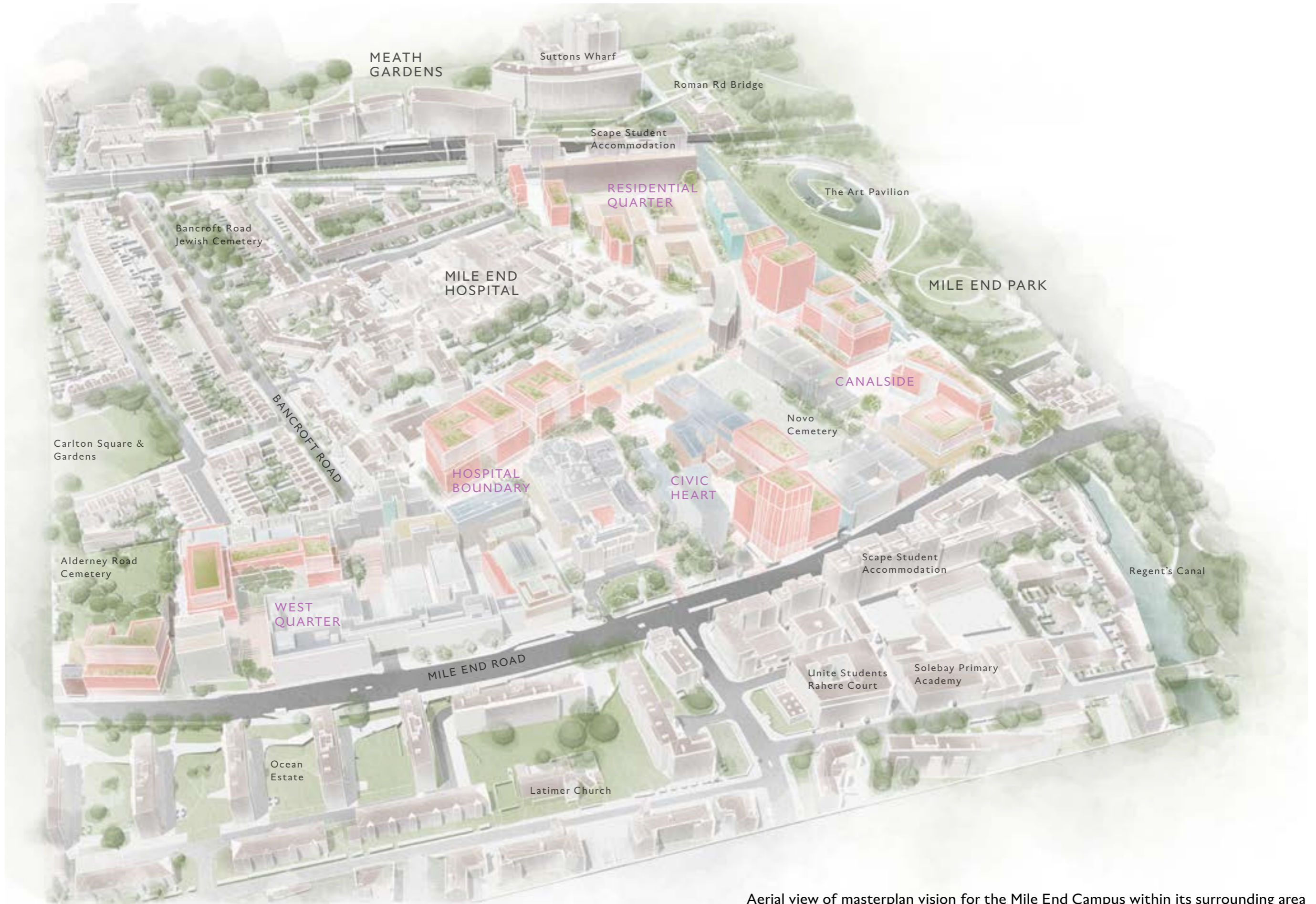
2.1 OVERVIEW

The diagram and aerial view to the right combines the masterplan objectives and illustrates the overall vision for the Mile End Campus.

The five areas identified having development potential are highlighted, comprising of the Civic Heart, Hospital Boundary, the Canalside, West Quarter and Residential Quarter. Note that these are the sites with the most potential, however the omission of specific sites from Section C would not preclude development coming forward on those sites in the future.

-  listed building
-  locally listed building
-  listed wall
-  cycle routes
-  landscape enhancement
-  main pedestrian links
-  new campus gateway
-  improved campus gateway
-  enhancement to public space
-  active frontage





Aerial view of masterplan vision for the Mile End Campus within its surrounding area

3.0 COMMUNITY FACILITIES & INFRASTRUCTURE

LOCAL PLAN POLICY: KEY POINTS

POLICY S.CF1 SUPPORTING COMMUNITY FACILITIES

Development which seeks to protect, maintain and enhance existing community facilities will be supported;

Development will be required to contribute to the capacity, quality, usability and accessibility of existing community facilities, particularly where development will increase demand;

Development should maximise opportunities for the provision of high quality community facilities to serve a wide range of users. Where possible, facilities or services should be accessible to the wider community outside of core hours and colocated or shared to encourage multi-purpose trips and better meet the needs of different groups;

POLICY D.CF3 NEW AND ENHANCED COMMUNITY FACILITIES

Proposals involving the provision of community facilities located outside the borough's town centres will be permitted where an up-to-date and robust local need can be demonstrated;

Community facilities within larger developments should be easily accessible to people who live and work outside of the host development;

New adult, further and higher educational facilities will be required to provide information of the relevant certification and registration details from the Department for Education and meet Sport England's design guidance;

The Civic University Agreement should identify how the local community in Mile End can be more involved in shaping the development of the campus and show how the new facilities can help to benefit the local area.

3.3 COMMUNITY INFRASTRUCTURE

Close to 90 per cent of Queen Mary's students come from state schools, with more than 50 per cent of home students being the first in their family to go to university. Over 65 per cent of students are BAME (Black, Asian and minority ethnic), a significant proportion of which come from the communities of east London.

The growth of the campus must recognise the demographics of the student population and set out how the needs of the student community will be met without putting undue pressure on local services. It must also ensure facilities are included for commuter students from the wider London area.

An increasing student population will put increasing importance on the provision of community infrastructure such as faith space, medical facilities, sports facilities and green spaces, all of which must be considered as the university expands.

The university should identify opportunities to open up on-campus spaces to a wider range of local community groups, businesses, charities and local schools for community space hire, including the potential discounted hire for community groups. Through the Civic University Agreement, there will be a means to identify demand and to tailor the types of spaces offered to meet this demand. Spaces that can be hired for community use within new buildings should be easily accessible from the public realm and would present an opportunity to animate public spaces with active frontages.

Delivery of higher education floorspace is a community and regenerative benefit in its own right, expanding university offer would facilitate greater outreach to these groups and highlighting the regenerative benefits of university floorspace on the local area.

3.1 INTRODUCTION

Future growth at the Mile End Campus must consider how local people and businesses can share in the growth and success of the university. This might take the form of improvements to the quality and access to public realm; providing space for community groups; or delivering enhancements to existing community facilities in the surrounding area.

This should also go hand in hand with expanded community outreach and initiatives that make the campus a more welcoming environment to local residents, therefore encouraging a more collaborative relationship between the university and local bodies.

The university should identify opportunities to open up on-campus spaces to a wider range of local community groups, businesses, charities and local schools for community space hire, which might include discounted hire.

3.2 CIVIC UNIVERSITIES AGREEMENT

There is recognition within the Higher Education sector that as anchor institutions in their local communities, universities should better align their priorities and commitments to their community.

There is a commitment to set out a clear charter for how QMUL can better serve the educational, economic and societal interests of the Mile End and wider East End community through the establishment of a Civic University Agreement. This will outline how the university can better support and engage with the local community, businesses, schools, charities and the local authority. It begins with a research phase to establish needs and opportunities through focus groups and discussions which then feed into the development of a bespoke agreement tailored to specific objectives.

3.4 A RECONNECTED CAMPUS

The People's Palace was originally established as a community venue in the 19th Century where people of the East End could enjoy dance classes, organ recitals, donkey shows and art exhibitions, as well as gain skills in various trades.

In this spirit, QMUL should seek to maximise its commitment to local residents through local partnerships, collaborative projects with the community, charities and businesses focussed on mutual benefit and the sharing of challenges and opportunities in one of the most diverse areas of the UK.

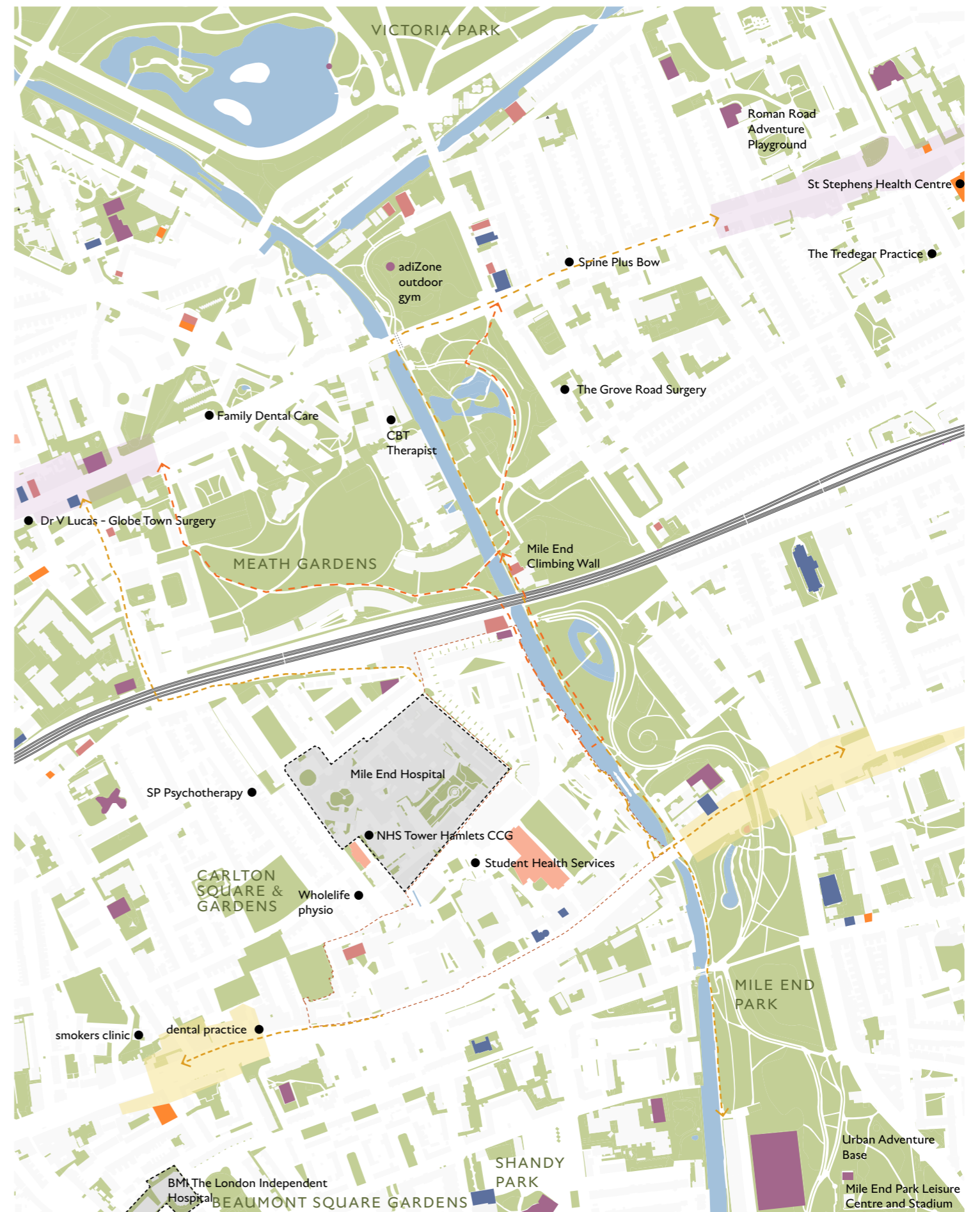
The design of the public realm should provide space to accommodate community events, such as the Festival of Communities, which brings together university staff and students, community organisations and local residents to explore living and learning in Tower Hamlets.

Arts and cultural facilities should be opened up for local residents to enjoy and make use of. On the Mile End Campus, this could include celebrating the diversity of east London through performance, plays, music dance and more, while public lectures could provide an opportunity for academics to discuss their fields of interest.

Queen Mary Students' Union (QMSU) can help students to volunteer and engage with community partners, to coordinate and deliver opportunities.

Existing community infrastructure in the area:

- gym/indoor sports facilities
- parks/green spaces
- outdoor sports facilities/playgrounds
- clinic
- hospital
- faith space
- district centre
- neighbourhood centre
- library
- community centre
- key links to facilities
- opportunities for new links to facilities



3.5 LIVEABLE STREETS

Liveable Streets is a borough-wide street and public space improvement programme. It aims to improve the look and feel of public spaces in neighbourhoods across the borough and make it easier, safer, and more convenient to get around by foot, cycle and public transport.

The Mile End Campus is already a highly pedestrian-focussed space. However, proposed measures to reduce the area dedicated to car parking and improve routes for cyclists and pedestrians will further promote sustainable movement and improve air quality.

Bancroft Road provides the main point of access to the Longnor Estate and surrounding residential streets, as well as Mile End Hospital, so this will need to remain a key vehicular route. However, this could become the main entrance to a liveable neighbourhood if combined with road closures to the north and west.

On Bancroft Road itself, pedestrian improvements, street lighting, tree planting and cycling infrastructure are also proposed to make local streets safer for everyone. Further improvements are needed, as set out in this SPD, on the Bancroft Road crossing between West and East parts of the campus.

3.6 LOCAL BUSINESSES

With increased numbers of staff and students on campus, there is an opportunity to increase footfall and spend within the local high streets. The most immediate beneficiaries to this footfall will be businesses along Mile End Road between Stepney and Mile End town centres. Furthermore, the new connection under the railway bridge to Meath Gardens will bring the Roman Road town centres to the north within a closer reach of the campus, with increased footfall between the campus and Bethnal Green station.

There are further opportunities to support local businesses through the procurement process, ensuring local supply chains and small-medium sized enterprises are involved in the construction and operation of campus facilities.

There is a growing network of initiatives being developed by QMUL which are directed at supporting local enterprise, and more space should be identified within the campus to support local businesses and start-ups.

Graduate start-ups are supported through funding, training, support and legal support. Once established these businesses should be encouraged to grow within Tower Hamlets to support local employment and benefit from proximity to the alumni network. Closer engagement between the university, the local authority and local space providers would be encouraged.

The High Streets and Town Centres 'Roman Road West Regeneration Programme will open up a second railway arch for staff and students at QMUL to access the neighbourhood via Meath Gardens, revamping the market square, replacing metal shutters with open grills, repurposing underused space to increase available workspace and cosmetic changes.

3.7 FAITH SPACE

A multi-faith space is located in the Students' Union Hub comprising of two large rooms and adjacent washing facilities that are designed as places of prayer, worship and reflection; and this space is shared by students and staff of all faiths and beliefs. These rooms can also be booked by individual faith societies. Smaller contemplation rooms are available on the ground floor of the Mile End Library; and a prayer room is located in the Students' Union on the Whitechapel campus.

St Benet's is a long established Christian chaplaincy, owned and run by the Church of England. This

supports students and staff of any faith, as well as community faith organisations, and is open from 9 to 5 Monday to Friday during term-time.

3.8 MITIGATION

There may be a requirement for future growth to mitigate its impact on the local community through investment in the local community infrastructure and open space in and around the campus.

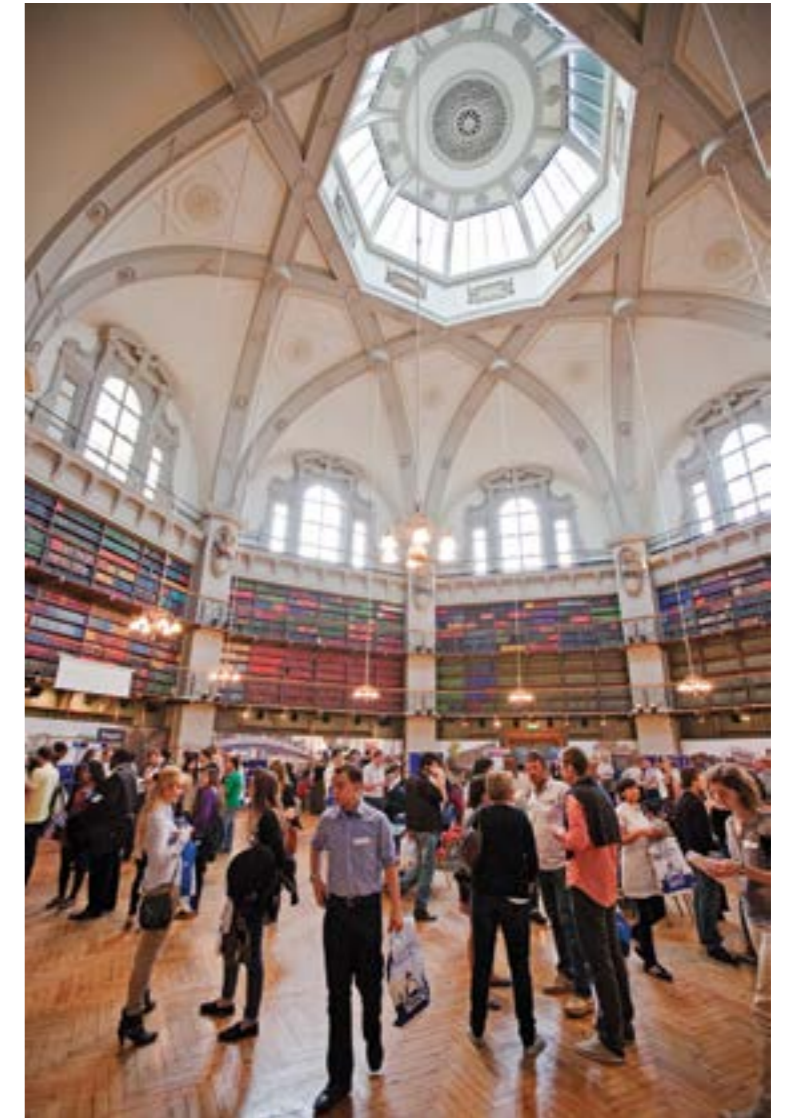
These opportunities might include:

- Jewish heritage sites in and around the campus, including the Novo Cemetery which should be preserved and enhanced in consultation with relevant organisations.
- Various heritage assets either on the campus or in the surrounding area;
- Mile End Park and Meath Gardens which could benefit from further investment to support new initiatives and improvements to biodiversity.

Bespoke community benefits for each development site are set out in section C; and further detail on obligations and mitigation is set out in section D of this document.

3.9 ACADEMIC COMMUNITY

The University's Centre for Public Engagement provides a programme which is committed to connecting the University with the local community. The delivery of higher education floorspace is a community and regenerative benefit in its own right and education play a vital role in creating and sustaining liveable neighbourhoods. The University provides community infrastructure across the campus. This is in the form of spaces within existing academic buildings which can be let out to local community groups and businesses outside of the core teaching hours of the University. Alongside these continuous engagements the University also collaborates with local community groups and organisations to host the 'Festival of Communities'.



QMUL Festival of Communities, Graduation Ceremony in The People's Palace and Open day activities in The Octagon of the Queens' Building

4.0 BUILT HERITAGE AND TOWNSCAPE

LOCAL PLAN POLICY: KEY POINTS

S.DH3 - HERITAGE AND THE HISTORIC ENVIRONMENT

Proposals must preserve or, where appropriate, enhance the borough's designated and non designated heritage assets in a manner appropriate to their significance as key and distinctive elements of the borough's 24 places.

Alterations, extensions or changes of use, or development in the vicinity of listed buildings (as shown on the Policies Map) will be expected to have no adverse impact on those elements which contribute to their special architectural or historic interest, including their settings.

Significant weight will be given to the protection and enhancement of the borough's conservation areas (as shown on the Policies Map), including their

setting. Development within a conservation area will be expected to preserve or, where appropriate, enhance those elements which contribute to their special character or appearance. There will be a presumption in favour of the retention of unlisted buildings that make a positive contribution to the character and appearance of a conservation area. Planning applications should explore opportunities from new development within conservation areas and their setting to enhance or better reveal their significance.

Applications affecting the significance of a heritage asset will be required to provide sufficient information to demonstrate how the proposal would contribute to the asset's conservation. Any harm to the significance of a heritage asset must be justified having regard to the public benefits of the proposal.

4.1 HERITAGE OVERVIEW

The Mile End campus is historically the home of Queen Mary College, which began life in 1887 as the People's Palace - a philanthropic centre to provide east Londoners with educational, cultural and social activities. This building is now known as the Queens' Building around which the first parts of the campus were developed. A new People's Palace was constructed to the west of the Queens' Building in the 1930s. During the 1960s, the Engineering Building and other significant developments arose to the west of the People's Palace.

From the 1980s, the campus expanded further east with the Library and further 'Arts' buildings completing the current layout, with the later canalside residential buildings completed in the mid-1990s. The Westfield Student Village completed in 2005/7 extended the residential quarter to the north along the canal up to the railway line.

The eastern edge of the campus sits within the Regent's Canal Conservation Area. There are a number of listed buildings and structures on the campus, most notably

the Queens' Building and Clock Tower, as well as a Spanish and Portuguese Jewish cemetery, known as the Novo cemetery, dating from 1726. This is the second oldest surviving Jewish cemetery in England. Given the potential for archaeological finds it is recommended to establish a clear reference to the archaeological potential of the site and discuss any forthcoming proposals with the Greater London Archaeology Advisory Service (GLAAS) at an early stage.

There are a number of listed walls surrounding the Novo Cemetery which will need to be considered carefully as part of new developments. There is an opportunity to more successfully incorporate the cemetery wall in the landscape and public realm, subject to sensitive design and taking into consideration enhanced biodiversity and potential lighting opportunities for night time animation. The cemetery walls, for example, could provide new sheltered outdoor spaces and better links to new buildings as part of new development.

More detail on existing heritage assets is contained later within this section of the report.

4.2 IMPROVING THE SETTING FOR HERITAGE ASSETS

New developments on the campus should seek to bring a positive contribution to heritage assets through preserving their fabric, providing an appropriate setting and being considered in regard to materials. Proposals for new development should be accompanied by a heritage assessment which includes a townscape visual assessment where appropriate.

This is as much about improving the quality of the public spaces which form the immediate setting of these assets. The images on the adjacent page, for example, demonstrate different ways in which historical walls and buildings can be incorporated into the public realm.

Given that the campus is mostly occupied during the darker autumn and winter months, it is also important to consider night time interest and the potential for illuminating some of the structures where appropriate.

4.3 LEGISLATIVE CONTEXT

The Council has a statutory duty to consider a proposal's impact on listed buildings, including their settings and conservation areas. This is contained in Sections 66(1) and 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990.

Section 16 of the NPPF, "Conserving and enhancing the historic environment", contains guidance in consideration of development proposals and their effect on the historic environment. Paragraphs 189 and 190 of NPPF require local authorities when assessing the effects of development on a heritage asset, to give weight to an asset's conservation in proportion to its significance.

Paragraphs 193-196 address the balancing of harm to designated heritage assets against public benefits. If a balancing exercise is necessary, considerable weight and importance should be applied to the statutory duty under sections 61 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) where it arises.

Finally, policy HC1 of the London Plan and S.DH3 of the Local Plan seek to protect the character, appearance and setting of heritage assets and the historic environment.

4.4 HERITAGE TRAIL

An indicative heritage trail is illustrated in further detail in the wayfinding and interpretation chapter (Chapter 10). This trail would help to improve campus legibility through telling a story of the history of the places, buildings and people that have helped to shape this diverse part of the East End. The trail could expand well beyond the campus boundaries to integrate other important local narratives and encourage greater engagement between the campus and its surroundings. This trail would have to be designed and developed in collaboration with an expert in heritage interpretation and include consideration of all layers of history, including the 20th century buildings on the site and various works of art. On a site by site basis consideration to connection with the heritage trail will be given and can be secured as part of the applications.

Set out on this page are two local heritage assets, the Tower Hamlets Local History Library and Archive; and Guardian Angels Roman Catholic Church; that are not on the university campus but could be incorporated in the trail to help weave the campus in the existing surroundings.

Precedents images to the right: demonstrating the ways in which a heritage asset can be successfully incorporated within a newly developed environment. Introduction of illumination can create night time interest and contribute to late hour security.



TOWER HAMLETS LOCAL HISTORY LIBRARY AND ARCHIVE



Grade II Listed Building

The building at 277 Bancroft Road, sitting just outside the university campus, houses the collections and services of the Tower Hamlets Local History Library & Archives. It was formerly known as the Mile End Old Town Vestry Hall, built in 1862. In 1902 the building was converted into a library and since then holds unique resources of the history of East End.

Opportunities: contribution to the enhancement of neighbouring heritage assets, such as the Local History Library and Archives On Bancroft Road. Opportunity for new frontage onto the Bancroft Road, with public facing active uses.



GUARDIAN ANGELS ROMAN CATHOLIC CHURCH



Grade II Listed Building

The Guardian Angels Church is a Roman Catholic church at 377 Mile End Road sitting east of the campus. Designed by Frederick Arthur Walters, it was opened in 1903 and paid for by Henry Fitzalan-Howard, 15th Duke of Norfolk as a memorial to his youngest sister, Lady Margaret Howard, who had performed charitable work in the East End.

Guardian Angels Catholic Church was opened on the Feast of the Immaculate Conception 8th December 1868, by Archbishop Henry Manning.

The building had previously been known as the Salem Chapel. It belonged to Mr Robert Beeton, who lived next door, and was rented to a Congregationalist group whose pastor was a Mr Henry Adams.

Opportunities: potential to improve accessibility and create a more inviting and enhanced setting on Mile End Road.



4.0 BUILT HERITAGE AND TOWNSCAPE

1. ALBERT STERN HOUSE & COTTAGES



Grade II Listed Building

This section outlines existing heritage assets on the Mile End Campus that have the potential to be incorporated in the heritage trail and highlights possible opportunities around improving their setting when proposing new developments.

The Albert Stern House and adjacent cottages to rear were once a hospital and old people's home for Spanish and Portuguese Jewish communities of Mile End, also referred to as Beth Holim. Originally built in 1912-13 by Manuel Nunes Castello they are part of a wider historic development and a significant asset of Jewish heritage. The listing comprises of two buildings: the main house at 253 Mile End Road and the more simple row of cottages for married couples behind Ifor Evans Place. Both overlook the Old Velho Sephardi Jewish Cemetery to the North. Now 253 Mile End Road is converted into student accommodation and is known as Albert Stern House

The red brick, stone dressings, timber windows and slate roof contribute to the special historic interest, strong details and craftsmanship of house common to the 18th Century house.

Opportunities - refurbish the interior of Albert Stern House and improve its suitability to today's use. The cottages to the rear should be incorporated in the public realm and provided a more positive setting through landscape and architectural arrangement.



2. THE PEOPLE'S PALACE



Grade II Listed Building

The People's Palace was opened in 1937 and established to provide east Londoners with 'intellectual improvement and rational recreation'. It was envisaged as a palace of delights with evening classes, a library, reading rooms and recreational activities.

Its unique building type - an entertainment and recreation hall inspired by Walter Besant and built through philanthropic endeavours to alleviate poverty and boredom in the East End of London - and its architectural features contribute to its special historic interest. Before QMUL acquired the building in 1954, the main entrance and access to the large auditorium was from the Mile End Road with granite steps under a bronzed canopy.

Opportunities: improve the public realm and frontage to Mile End Road and create a more inviting and open setting for public access; new signage; and links back to the building's theatrical heritage. Enhance the green space in front of the Queens' building. There is also potential for refurbishment and use as events space for both the university and the local community.



3. THE QUEENS' BUILDING AND CLOCK TOWER



Grade II Listed Building

The Queens' building opened in 1887 as an educational and cultural venue for people of east London; and now is the heart and focal centre-point of the Mile End Campus. The drinking fountain and Clock Tower made from white stone sits south of the building, fronting Mile End Road.

Opportunities: create an improved public realm between Mile End Road and the main entrance of the building; and maintain the key focal point of the institution. Remove car parking to the East of the building and improve public realm with pedestrian access. The rear of the Queens' building should be incorporated with new development in this location. The Octagon to the rear could be enhanced with improved public access from new and enhanced public realm.



4. ST BENET'S CHAPEL



Grade II Listed Building

St Benet's Chapel occupies the site of St Benet's Church, built between 1872 and 1873, which was heavily damaged by bombing in 1940. The ruined Church was demolished in 1949, and in 1951, the College obtained possession of its site from the Diocese of London. As a condition of the covenant, the College was required to provide space on the site for a chapel of ease fronting Mile End Road. The Chapel is not owned by the Queen Mary University.

Opportunities: Create an enhanced setting and frontage on Mile End Road; set back the massing of new development in this area to create better opportunities for public realm and a square; create a more positive setting through improved landscaping and more generous open space.



5. NOVO CEMETERY



Grade II Listed Cemetery & a 1733 foundation plaque

The original Novo Cemetery formed in 1733 occupied an area of around three acres, just to the north of the Mile End Road and in close proximity to the Velho cemetery formed in 1657.

This area, formerly known as the Mile End Old Town, formed part of the building line that covered Mile End Road from Aldgate through Whitechapel and Stepney towards the river crossing at Bow. The cemetery was bounded to the West by Bancroft's Almshouses (which later became the site of the People's Palace and the Queen Mary College), and to the South by the Mile End Road. A mortuary chapel or ohel which was demolished in 1922 was located at the street entrance. A further 1.7 acres, comprising an L-shaped strip of land between the original cemetery and the Regent's Canal, were added in 1855 to the original perimeter. The cemetery is owned by Spanish and Portuguese Sephardi Community.

Opportunities: Incorporate the cemetery within a new heritage trail; improve the landscaping and setting around the main pedestrian routes including creation of further places from which the cemetery can be viewed; consider night time interest and lighting; improve the setting of the cemetery through redevelopment of surrounding buildings and integration of active frontages.



6. BOUNDARY WALLS TO BURIAL GROUND



Grade II Listed Structure

The south east & south west boundary walls to the Jewish Burial Ground, built in the 18th Century, are a Grade II listed structures. It is a panelled brick wall on rendered plinth with brick capping.

Opportunities: Enhance, protect and further reveal the wall to celebrate its historic significance. Create a more positive setting in the public realm and incorporate within a landscaping strategy. Create more interest by introducing night-time illumination whilst also improving the quality of pedestrian links.

In the area adjacent to Mile End Road, improve the setting of the wall and incorporate positively within new developments.



7. 357 MILE END ROAD



Locally Listed Building

No. 357 Mile End Road, built in 1820, is a locally listed three-storey building. It fronts onto Mile End Road with a basement at the canal basin level and includes two-storey and single-storey rear extensions.

The Gardner family built no. 357 and the terrace on the opposite side of the canal. They also owned and operated Commercial Wharf.

The building's contribution to Mile End Road has been diminished by changes over the decades and currently does not participate in the street scape with active frontages. The use of the building is partly compromised by noise and vibrations of adjacent underground tunnel.

Opportunities: Incorporate the building in new South-East Gateway and introduce a better public realm around the asset. Opportunities for refurbishment and potential sensitive extension to create a better fitted space for its use. There is also potential to sensitively 'open up' the ground floor level with careful incorporation of historic features in order to introduce a more public and animated setting for the building.



4.0 BUILT HERITAGE AND TOWNSCAPE

4.5 REGENT'S CANAL

At 8.5 miles long, the character of the Regent's Canal varies greatly along its entire length. It is a broad canal of between 40 and 60 feet wide. When it was first constructed it had earth banks but these were lined with ragstone walls in 1832. The Regent's Canal Conservation Area runs across four London Boroughs: Camden, Hackney, Islington and Tower Hamlets. From Paddington Basin in the West to Limehouse Basin on the Thames.

The Conservation Area is a linear area with the boundaries drawn tightly around the Canal and features associated with it including bridges, locks, lock cottages, warehouses and other industrial features.

The main building material is London stock brick with slate roofs; And many early 20th century factories employed steel. Typically, 19th and early 20th century industrial buildings rise sheer from the water, especially on the offside of the canal, or from brick

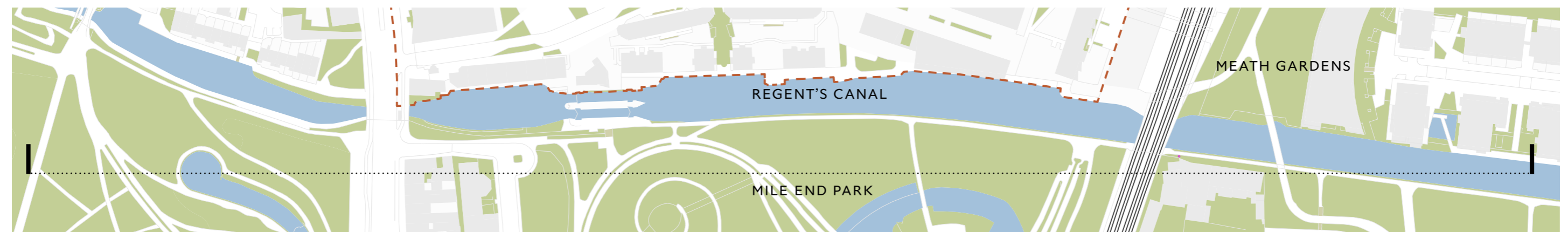
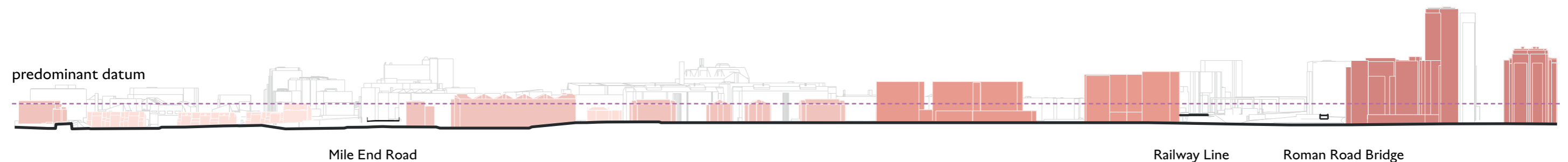
walls beside the towpath. This tends to create a sense of enclosure and darkness, with tall brick canal and basin side buildings facing adjoining streets the norm until recently.

The backs of the buildings lie adjacent to the canal, their visual appearance secondary to their function. Canalside windows tended to be small and grilled at lower level to prevent thefts, and drawbridge openings animated the elevation.

The historic industrial fabric along Regent's Canal varies in height from two to five storeys, with modern development ranging from between two and nine storeys, and some individual buildings as high as 17 storeys to the north of the railway line. Buildings on the campus rise from three to four storeys in the south, to eight storeys adjacent to the railway line to the north.



Image of the Lock Keeper's Cottage and existing building datum along the canal.



4.6 BUILDING SCALE: MILE END ROAD

The Mile End Campus fronts a large portion of this section of Mile End Road. On the north side of Mile End Road, buildings back straight onto the pavement, with only a few exceptions. One of these is the main entrance to the campus at the Queens' Building, which provides a moment of relief and a sense of civic importance.

On the south side, buildings are often set back with landscaped areas in front. In some cases, this can result in a lack of active frontage on this side of the street, and a more open feeling at street level. This is particularly true of the Ocean Estate, whose blocks of six storeys are perpendicular to the road and feature landscaped gardens in between.

The 'Scape' development at 438-490 Mile End Road ranges from three to nine storeys and provides teaching

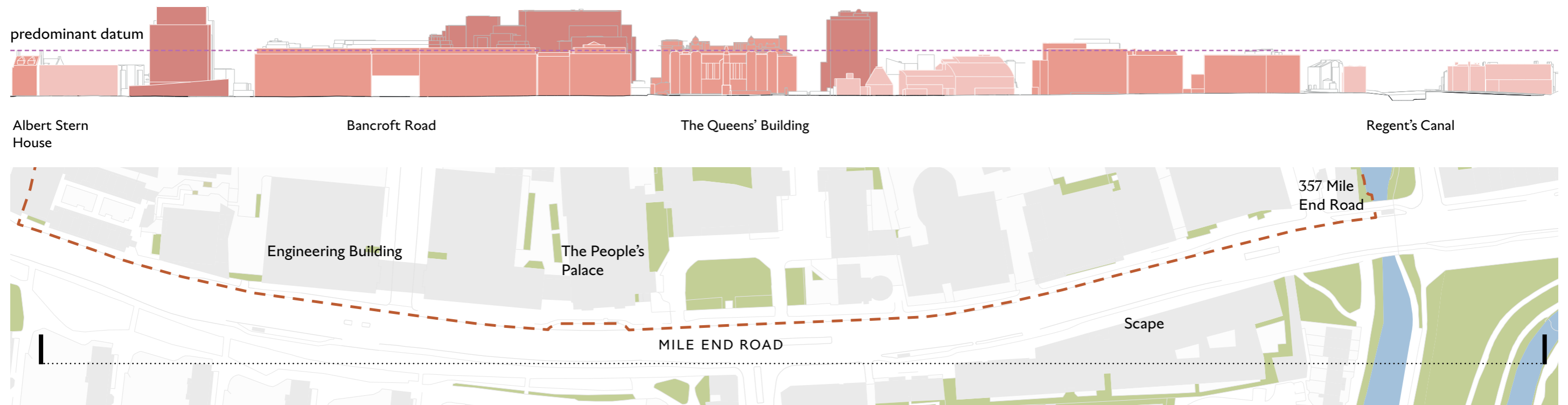
accommodation, associated facilities and student housing. The mass of the development forms a series of interconnected buildings, which rise from the canal towards the west.

The campus itself largely follows the historic datum of four to five storey equivalent on the north side of Mile End Road. There are two taller buildings that rise above this level, including the Maths Building to the west and the G.O. Jones Building towards the centre of the campus.

Further east, the Guardian Angels Roman Catholic Church provides a local landmark close to Mile End Station, and at the point at which the park crosses the road. Note that this church is not on campus or under the ownership of QMUL.



View to Mile End road showing the prevailing datum of the existing context.



5.0 HIGH QUALITY DESIGN & BUILDING HEIGHTS

LOCAL PLAN POLICY: KEY POINTS

POLICY D.DH6 - TALL BUILDINGS

Developments with tall buildings must demonstrate how they will:

- a. be of a height and scale, mass and volume that are proportionate to their role, function and importance of the location in the local, borough-wide and London context; and take account of the character of the immediate context and of their surroundings
- b. achieve exceptional architectural quality and innovative and sustainable building design, using robust and durable materials throughout the building
- c. enhance the character and distinctiveness of an area without adversely affecting designated townscapes and landscapes (including building/roof lines) or detracting from important landmarks, heritage assets, key views and other historic skylines, and their settings.

Outside these zones, tall building proposals will be supported provided they meet the criteria set out in Part 1 and can demonstrate how they will be located in areas with high levels of public transport accessibility within town centres, address deficiencies in the provision of strategic infrastructure, significantly strengthen the legibility of a Neighborhood Centre or mark a location of visual significance and does not undermine the prominence of existing landmark buildings.

POLICY D.DH4 - SHAPING AND MANAGING VIEWS

Development is required to positively contribute to views and skylines that are components of the character of the 24 places in Tower Hamlets. Intrusive elements in the foreground, middle ground and backdrop of such views will be resisted

that cumulatively new developments on the site establish a new datum to a campus edge that lacks visual interest. New development need to create interest, improve identity and legibility through reinforced local character and meaningful variation in building footprint, height and potential imaginative deployment of setbacks alongside an imaginative vision for the ground plane.

The prevailing height in an area, as well as the degree of variation or coherence in building height, are important physical attributes that shape the experiential quality of an area and help define its character alongside other factors such as the degree of space set between buildings and other built features including the new development and the canal side and the relationship to the street and back of pavement. Taken together all these attributes help to inform how we experience places first hand, engage with spaces and make sense of places and navigate the built environment.

The taller a building the greater is liability of its felt presence and impact, both locally as well as on the skyline. The ratio of the height of a tall building to the prevailing contextual height is a useful indicator of the extent of 'tallness' of a building within its specific context. Where 'moments' of height are sought, rising above the prevailing context on the campus they should be designed to be slender and of the highest architectural design quality. These should also relate directly to a moment of townscape significance, such as an accepted key gateway to the campus, and have a clear public-facing civic function.

Policy D.DH6 defines a tall building as any building that is greater than 30m in height or twice the height of surrounding buildings (whichever is the lower). Any tall building would need to demonstrate all the criteria in Part 1 of the policy including taking into account the character of the immediate area, achieve exceptional architectural quality, enhancing the character and distinctiveness of the area, not detracting from important landmarks or heritage assets and their settings, presenting human scale at street, and critically in regard to Part 3 of the policy given tall buildings are not directed to locations such as this outside a Tall Building Zone go towards addressing deficiencies in strategic infrastructure address, satisfactorily demonstrate the building positively marks a location of civic or visual significance.

5.1 OVERVIEW

When developing new proposals for Mile End campus established building height datums should be carefully considered, including surrounding Conservation areas and heritage assets. A thorough townscape analysis must be presented for all proposals within the SPD boundary.

The Mile End Campus sits outside a designated tall building area therefore the approach to design and building heights should generally be informed by design responding to local site and by consideration of strategic Local Plan spatial Policy S.HD1 Delivering High Quality Design and associated Local Plan development management Policies D.HD2, H.HD3 and D.DH4 alongside the 10 identified characteristics of well-designed places set out in the National Design Guide.

The London Borough of Tower Hamlets is developing a SPD to guide and influence the design and planning of tall buildings across the Borough - Tall Buildings SPD. The guidance in this document should be taken into

account when developing proposals for Mile End Campus.

Development responding to local context, taking a design led approach to capacity will provide some opportunities for relatively modest increases in height from existing established datums within the campus, particularly where sites appear capable of supporting additional height and mass without appearing at odds with the local character or impacting adversely on local townscape views or heritage assets. There are also some sites identified which could support additional height whilst respecting the prevailing heights of other surrounding buildings on the campus.

This is an area with good transport links and the potential to support an expansion in educational use space to serve the expansion of the university. It is important to ensure land is being used as efficiently as possible, within the context of design led capacity constraints.

It is important individual development sites on the campus are not treated in isolation and do not seek to 'max' out to a perceived development envelope such

5.2 EXISTING HEIGHTS

The diagram to the right shows the existing range of heights of built structures within the campus and within its immediate surroundings, light blue representing the lower range of heights and darker blue the increased heights.

The surrounding residential area within Carlton Square Conservation area consists of mainly one to four storey terraces.

Sutton's Wharf and Student residential blocks south of the railway are higher than the mean height in surrounding areas. Sutton's Wharf's highest block rises to 17 storeys and indicates the location of pedestrian bridge which links Meath Gardens to Mile End Park.

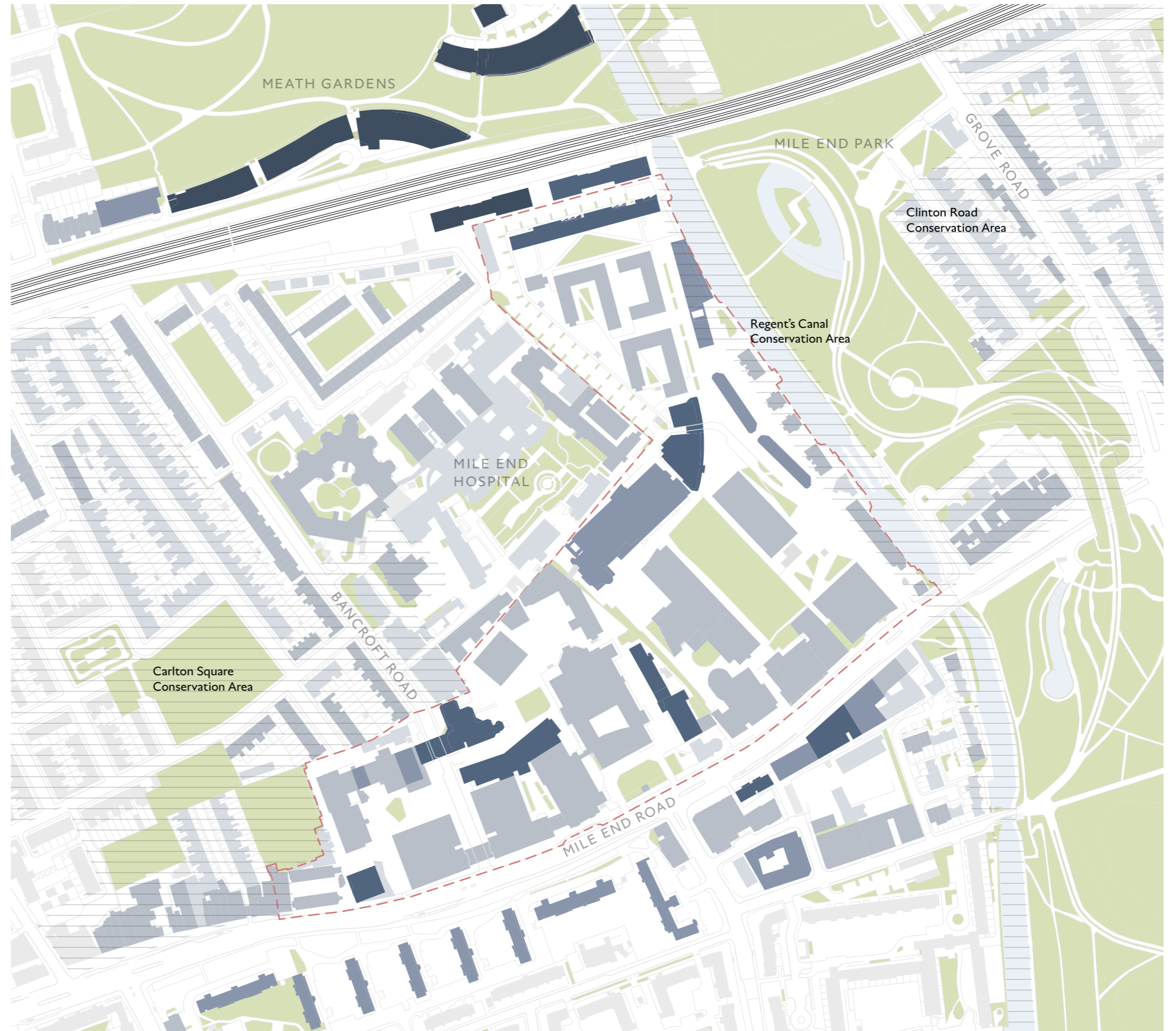
Ocean's Estate and the new Scape student residential development on Mile End road vary between five to nine storeys exceeding the average height south of the Mile End Road and buildings adjacent to the canal.

Policy links

- Policy S.SG2: Delivering sustainable growth in Tower Hamlets
- Policy D.SG4: Planning and construction of new development
- Policy D.H3: Housing standards and quality
- Policy S.TC1: Supporting the network and hierarchy of centres
- Policy S.CF1: Supporting community facilities
- Policy S.OWS1: Creating a network of open spaces
- Policy D.OWS4: Water space
- Policy D.ES3: Urban greening and biodiversity
- Policy STR1: Sustainable travel

Evidence links

- Tower Hamlets Tall Buildings Study
- London Borough of Tower Hamlets Conservation Area Character Appraisals and Management Guidelines
- Tall Buildings: Historic England Advice Note 4 (Historic England, 2015)
- Guidance on Tall Buildings (Commission for Architecture and the Built Environment and English Heritage, 2007)
- Community Infrastructure Levy Regulation 123 List
- London View Management Framework (Mayor of London)
- Tower Hamlets Conservation Strategy



5.0 HIGH QUALITY DESIGN & BUILDING HEIGHTS

The diagram to the right indicates the two main axis routes through the campus, East-West and South-North. This shows moments of townscape significance at newly formed southern and eastern gateways.

It is important that these buildings are of the highest architectural quality and are buildings of strategic academic and community importance such that they reinforce the outward facing and civic nature of the institution.

Images to the right illustrate existing setting on the campus and the relationship between built structures, public realm and the canal and views down the canalside path.



MILE END ELEVATION



REGENT'S CANAL ELEVATION



5.3 PROPOSED GUIDELINES

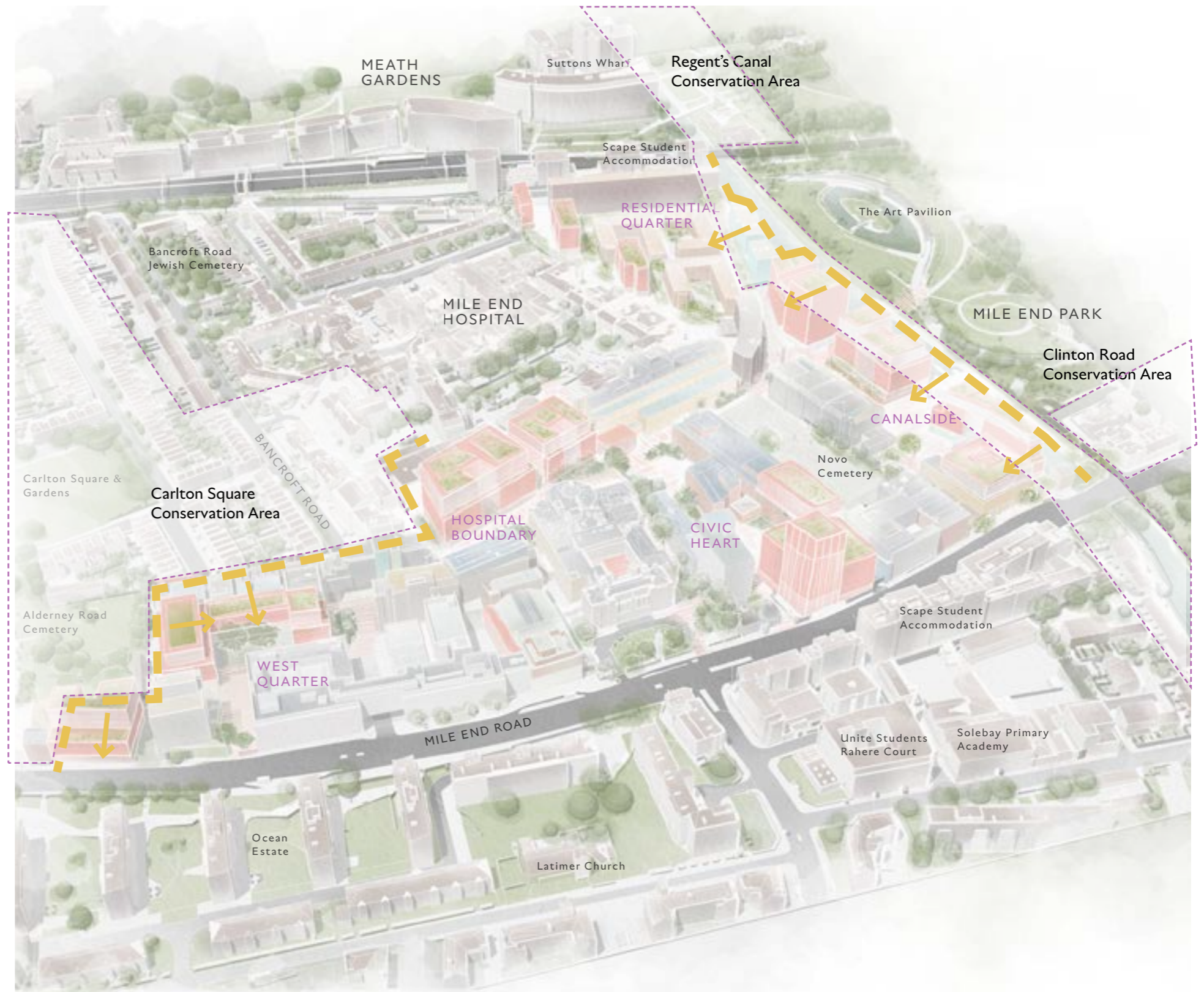
The aerial view to the right indicates suggested appropriate height range in different development areas. More detailed case studies showing how the guidelines could be applied can be found in Section C.

In the Residential Quarter new buildings to the west should mediate between the six to eight storey context of the taller student residences to the adjacent four storey context of Longnor Road. There may be some opportunity to replace or extend the four storey courtyard buildings. The building heights to the north of the railway do not serve as a shared datum for assessing immediate surrounding heights for development within the Residential defined area or Canalside defined area of the campus.

New buildings to the Canalside area should adopt a varied approach to height and massing to avoid creating a continuous 'wall' along the canal. There may be an opportunity for massing to rise to a local landmark marking the site of a potential new bridge connection to Mile End Park, and terminating the main East-West route through the campus. There is an opportunity to add one to two storeys to some existing buildings, including Arts One.

Buildings within the West Quarter and Hospital Boundary sites need to mediate between the varying heights of surrounding buildings and should use set backs to sensitive boundaries and Carlton Square Conservation Area.

The Civic Heart has potential for a new building of public-facing civic significance to match the ambition of the Queens' Building and People's Palace and to mark this important gateway into the campus. It is important to consider views from the Novo Cemetery and Queens' Building forecourt to ensure the new building does not adversely affect the setting of these important heritage spaces.



- Immediate boundary to or within conservation area should respect the existing context, massing to be set back from the boundaries
- Conservation Area

6.0 ACCESSIBILITY & INTEGRATION

LOCAL PLAN POLICY: KEY POINTS

Policy S.DH1 DELIVERING HIGH QUALITY DESIGN

This policy requires that development creates well-connected, inclusive and integrated spaces and buildings which can be easily adaptable to different uses and the changing needs of users.

Policy D.DH2 ATTRACTIVE STREETS, SPACES AND PUBLIC REALM

Development is required to contribute to improving and enhancing connectivity, permeability and legibility across the borough, ensuring a well-connected, joined-up and easily accessible public space.

Development is also required to positively contribute to the public realm through optimising active frontages towards public streets and spaces, providing a range of public spaces, integrating high quality public art into public realm, especially at gateway locations. Maximising soft landscape to soften the streetscape, provide visual and environmental relief from hard landscaping, buildings and traffic. Create opportunities for natural surveillance, particularly at ground level.

Development is also required to maximise soft landscape to soften the street scape, provide visual and environmental relief from hard landscaping, buildings and traffic; while also creating opportunities for natural surveillance, particularly at ground level.

and greenery if space allows. For example the Stark & Green, and the Pottersfield Park screen.

Another approach would be generous soft landscape around the secure entrance/railings where possible, so the railings aren't the main focus and blend more into the background. Vertical landscape elements such as small trees or hedges could be utilised. A case study and precedents of security boundaries are in Section C.

From a crime prevention point of view, opening up of the campus will aid informal surveillance around the campus as there would be more people using routes and spaces that are currently underutilised. However, the safety of the local community and the students must be carefully considered as part of future development, aiming to reduce opportunities for anti-social behaviour and introduce crime prevention measures. Indeed, any new development must achieve the Secured by Design accreditation and consulted upon with a Designing Out Crime Officer.

6.1 PHYSICAL INTEGRATION OF THE CAMPUS TO ITS SURROUNDINGS

Currently the campus reads as a walled, uninviting island to the public and immediate surroundings. To the north of the campus, the boundary line is characterised with security fences and walls along the boundary of Mile End Hospital, while to the south, Mile End Road offers blank facades that are often not permeable.

Therefore, improved visual and physical permeability and access through the campus must be considered as part of future development; while making the campus more inviting and accessible to the public through landscape improvements and architectural design. Furthermore, create active frontages to Mile End Road would help to improve the streetscape setting and offer opportunities for natural surveillance; and existing buildings should be made more accessible, including improved wheelchair access. Way-finding and integration of the campus is covered in

the Way-finding and interpretation chapter.

6.2 SECURITY BOUNDARIES

Currently the campus is secured by uninviting security fence Lines, particularly in the north, which are not well incorporated in the public realm. The future redevelopment of the estate offers the opportunity for different ways to approach these boundaries through discreetly incorporating new security infrastructure into the public realm utilising landscape elements. thus creating a more pleasant setting for students, staff and the public.

If appropriate, create a feature/gateway where the secure access needs to be. For example the Hull Gateway and the Burgess Park gateway (further reference in Section C). These are gateways but could also incorporate openable gates that become a landscape feature/artwork while open, and offer security once closed. Another approach would be to introduce a decorative screen – could be bespoke to specific heritage artworks. These can be softened with planting

6.3 IMPROVED CONNECTIVITY TO THE MILE END HOSPITAL SITE

Currently the only connection between the campus and the hospital is through a metal gate to the rear of the Bancroft Building that is unlocked Monday to Friday. Through developing the Hospital Boundary area, there is potential to introduce an improved north-south pedestrian link between these sites, allowing direct pedestrian access from the hospital to Mile End Road. This would benefit existing catering facilities on the campus; and could allow students and staff greater access to the Hospital's green spaces. Future developments on either side of the boundary line could also be coherently developed to avoid 'dead' spaces and narrow alleyways thus creating a seamless and successful public realm between both estates. Notwithstanding the above, there are sensitivities around these connections, and any future opportunities would be subject to agreements and coordination between all stakeholders.



Existing blank facades on Mile End Road



Existing walls along the Mile End Hospital site (left) and walls of the listed Velho cemetery (right)



Uninviting fence line on Longnor Road

- Existing boundary wall
- ||||| Opportunities for improved links through boundary
- - - Opportunities for new day-time public routes through the campus
- //// Opportunities to integrate campus facilities in public realm

Diagram of opportunities to improve campus's physical integration in surrounding setting



7.0 CAMPUS SPACES AND PLACES

LOCAL PLAN POLICY: KEY POINTS

POLICY S.DH1 - Delivering High Quality Design

This policy requires development to “create well-connected, inclusive and integrated spaces and buildings which can be easily adaptable to different uses and the changing needs of users”. It also requires development to “provide a mix and range of publicly accessible open spaces and water spaces that promote biodiversity, health and well-being”.

POLICY D.DH2 - Attractive Streets, Spaces and Public Realm

Within this policy development is “required to contribute to improving and enhancing connectivity, permeability and legibility across the borough, ensuring a well-connected, joined-up and

easily accessible street network and wider network of public spaces”.

Development is required to “positively contribute to the public realm through: a. optimising active frontages towards public streets and spaces b. providing clear definitions and enclosure through building frontage and massing, and connection and continuity of pedestrian desire lines and street activities, at a human scale”.



7.1 OVERVIEW

A vision has been established to ensure that, as development proposals come forward, a cohesive campus-wide strategy for spaces and places is implemented. There is opportunity to both enhance the existing public realm whilst also creating new spaces and connections with neighbouring areas.

Several key design principles have been established for improving campus spaces and places, which are described in more detail on the following page.

The public realm is the unifying element of the campus, experienced by everyone who passes through or studies there. Campus spaces should therefore provide a high quality environment that is accessible to all, is rich in character and has a unique sense of place.

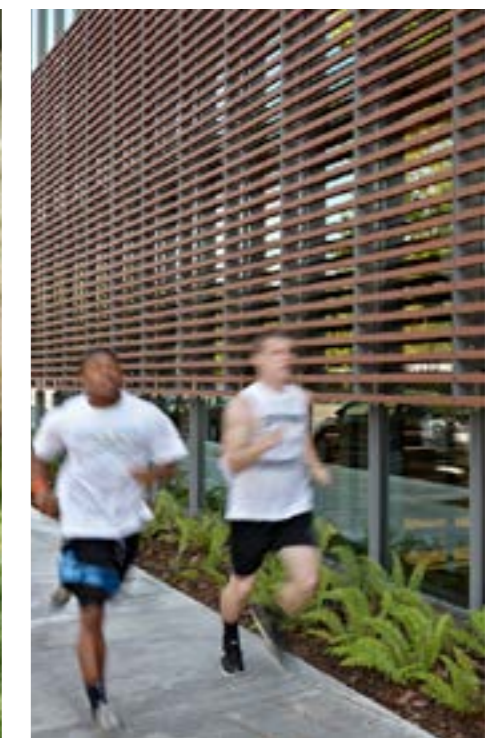
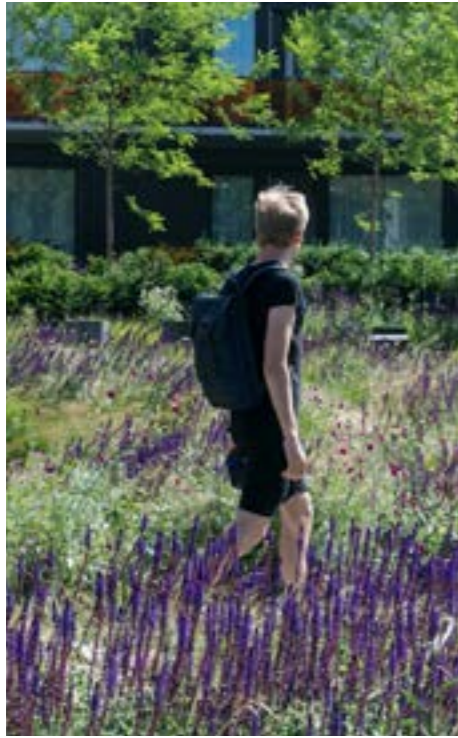
The relationship between buildings and landscape should be enhanced. Campus spaces should provide a high-quality setting for buildings, aid ground-level activation and enhance building access and legibility. Key

entrances, facades or routes should be considered within all landscape proposals, and opportunities for partially covered public realm should be explored.

The public realm should incorporate spaces that vary in scale and character whilst creating a unified campus aesthetic. Proposals should seek to create a balance between hard spaces that are predominantly focused on activation, and green spaces that help to soften the campus and improve biodiversity.

Larger-scale spaces should be flexible and able to accommodate large gatherings or busy day-to-day use, whilst smaller more intimate spaces should also be created to allow for respite from busy campus life. A unified palette of repeating materiality, furniture, signage or lighting should be developed to create a cohesiveness to the public realm aesthetic. However, this palette should allow for flexibility to enable distinct spaces within the campus to be developed.

7.2 KEY DESIGN PRINCIPLES



1. Create a high quality environment that is rich in character. A mix of spaces that vary in scale and character, with quality materials and planting, will create a campus that is unique and enjoyable.

2. Celebrate and highlight the heritage of the campus and QMUL. Buildings, landscapes and monuments should be identified as part of a 'Heritage Trail', using a mix of interpretation boards and public art.

3. Improve the setting of new and existing buildings. Design the public realm in conjunction with buildings to ensure a cohesive approach to access, legibility and ground level activation. Landscape should soften and 'ground' buildings.

4. Enhance campus-scale and neighbourhood-scale connections and legibility. New connections, with clear sight lines and way-finding should enhance pedestrian movement through the campus. New connections and bridge links should be provided to improve connectivity with neighbouring areas.

5. Enhance biodiversity, ecology and sustainability throughout the campus. Green spaces should be made more biodiverse, with a focus on native and local Biodiversity Action Plan target species, as well as plants for pollinators. Biodiversity should be improved at both ground and roof level.

6. Enhance the health and wellbeing of students, staff and the wider community. Opportunities for accessible physical exercise within the campus should be enhanced, with better connections created to nearby public green spaces. Opportunities for social activities and light exercise such as allotment or garden volunteering should be encouraged.

7.0 CAMPUS SPACES AND PLACES

LOCAL PLAN POLICY: KEY POINTS

POLICY D.DH6 - Tall Buildings

Any tall buildings must present a human scale of development at street level and comprise an attractive and legible streetscape that takes into account the use of the public realm for a variety of users and includes active uses at ground floor level.

POLICY S.OWS1 - Creating a Network of Open Spaces

Where feasible, spaces and places should be multifunctional and provide a variety of uses for students, staff and the wider community; creating spaces for socialising, exercising, studying or enjoying interaction with nature.

Given the spatial constraints, a multifunctional

approach will help to enhance the efficiency of campus spaces. For example, areas for socialising or exercise could also be set within a biodiverse landscape, benefitting people and the environment.

POLICY D.OWS3 - Open Space Space and Green Grid Networks

Development should contribute to the delivery of new publicly accessible open space on-site which should: a. be visible and accessible from the public realm surrounding the site. Development should also incorporate soft landscaping and sustainable urban drainage systems and enhance biodiversity, contributing to the objectives identified in the Local Biodiversity Action Plan.



Where feasible, spaces and places should be multifunctional and provide a variety of uses for students, staff and the wider community. Spaces for socialising, exercising, studying or enjoying interaction with nature must all be provided. Given spatial constraints, a multifunctional approach will help to enhance the efficiency of campus spaces. For example, areas for socialising or exercise could also be set within a biodiverse landscape, benefitting both people and the environment.

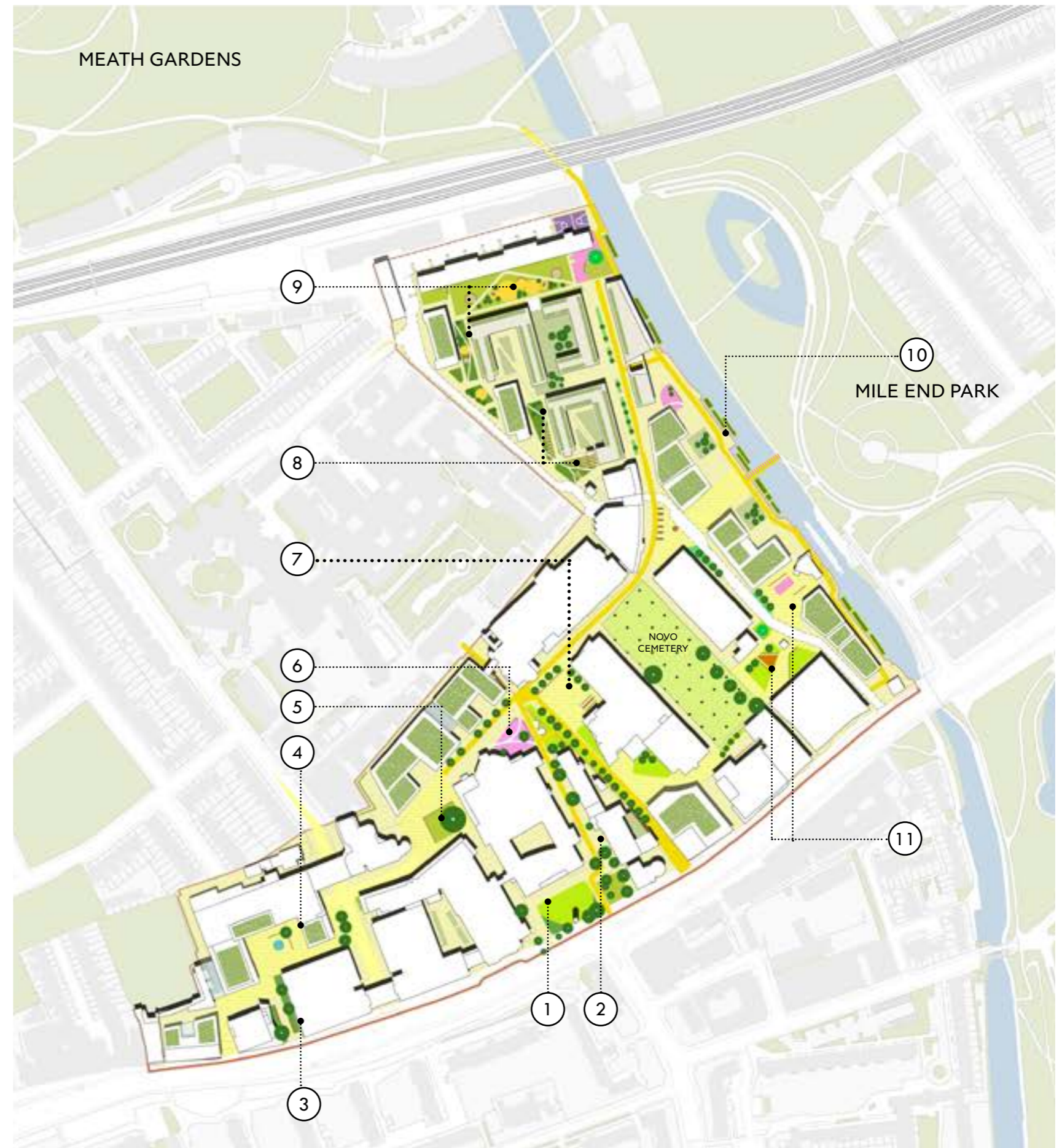
Design of the public realm should enhance campus connectivity and legibility at both the campus scale and the neighbourhood scale. Currently, some existing buildings, walls and other physical constraints reduce the overall legibility of the campus and create a disjointed character that can be difficult to navigate. Walled boundaries, security fencing and limited gateways also add to a sense of inaccessibility to the wider community, forming barriers to movement through the area. Creating new gateways and public links should help to overcome these barriers to movement and assist legibility of the campus. Part of the campus is also categorised as an area of open

space deficiency, further highlighting these barriers and lack of access to open space in some areas. Alongside provision of new open space, creating new connections to existing open space should help to overcome this deficiency.

Key opportunities for new or improved connections include:

- Improved gateways along Mile End Road, with reduced barriers and an open, welcoming character.
- An enhanced east-west axis route connecting Godward Square in the west of the campus, to the Regent's Canal and Residential Quarter in the east. A potential future pedestrian bridge connecting the campus to Mile End Park.
- A potential new pedestrian bridge connecting to Mile End Park (a long term aspiration).
- Access to Meath Gardens via a pedestrian/cycle link beneath the rail line to the north-east of the campus (reliant upon third party stakeholders including Network Rail and Scape)
- Enhanced connections between the campus and the Mile End Hospital site, subject to agreements.

- 1 **'QUEEN'S LAWN'**
 - Extended lawn space with appropriate planting to enhance the setting of the Queens' Building and People's Palace.
 - Reconfiguration of vehicular access.
- 2 **'QUEEN' S LANE'**
 - Pedestrian-only heritage link. Implementation of heritage paving/materiality, subtle lighting to the building facade and mature trees, and heritage trail.
- 3 **'ENGINEERS GARDEN'**
 - Improved gateway into the campus Shady courtyard garden with trees, planting and seating. Artwork/interpretive signage highlighting some of QMUL's mathematical and engineering achievements.
- 4 **'GODWARD SQUARE'**
 - Enhanced and extended square with a focus on showcasing informatics, mathematics and engineering - modern aesthetic, kinetic installations, lighting and furniture. Flexible space for exhibiting student engineering projects.
 - Potential to extend underneath/be partially covered by development of the Union shop building, extending the square into Bancroft Road.
- 5 **'UNIVERSITY SQUARE'**
 - Enhanced biodiversity / seasonal interest.
 - Improved building frontage with new buildings framing the space.
- 6 **'INTERNATIONAL GARDEN'**
 - Garden celebrating horticulture from around the world and QMUL's overseas campuses/international links, complementing the Queens' Building northern facade and historic wall.
- 7 **'LIBRARY SQUARE'**
 - Reconfiguration of existing square to be more flexible for larger events.
 - Reconfiguration of seating and outdoor workstations with wi-fi access, opportunity for pop-up stalls and event space.
- 8 **'GREEN MARY GARDENS'**
 - Extension of the Green Mary sensory and allotment gardens.
- 9 **'THE LONG GARDEN'**
 - Improved external student facilities - increased outdoor gym/exercise and social spaces. Enhanced biodiversity within planting palette.
- 10 **'CANAL GARDENS'**
 - Garden squares with quiet canal-side character.
 - Canal route integrated with building frontage. Terraced seating overlooking canal and Mile End Park.
 - Potential for floating planted wetland pontoons and ecological enhancements.
 - Opportunities for ecological enhancements (e.g. Black Poplar trees and bat boxes).
- 11 **'ARTS SQUARE' AND 'LOCK KEEPERS PLACE'**
 - Reconfigured/enhanced square with a focus on events/arts, performance and exhibition. Small stage orientated with seating edges in Arts Square. Increased biodiversity to planting.



Proposed ideas/concepts of campus spaces and places that come together to form a coherent public realm strategy

8.0 HEALTH AND WELL-BEING

LOCAL PLAN POLICY: KEY POINTS

POLICY S.SG2 - Delivering Sustainable Growth

Development is required to contribute towards the Local Plan vision, which includes: “encouraging physical activity, promoting good mental and physical well-being and reducing environmental factors which can contribute to poor health, including poor air quality”.

POLICY D.OWS3 - Open Space and Green Grid Networks

This policy states that strategic development should contribute to the delivery of new publicly accessible open space on-site which should be well-connected and way-marked to other open space.

POLICY S.DH1 - Delivering High Quality Design

Development is required to provide a mix and range of publicly accessible open spaces and water spaces that promote biodiversity, health and well-being.

POLICY D.DH2 - Attractive Streets, Spaces and Public Realm

Development is required to positively contribute to the public realm through providing a range of public spaces that can function as places for social gatherings and other recreational uses. One of the greatest opportunities on the campus to enhance long-term health and well-being is to improve access to nearby green spaces and the canal towpath, notably the potential for a future bridge link to Mile End Park and a pedestrian link to Meath Gardens. These connections will enhance accessibility to wider green infrastructure, providing extensive opportunities for physical recreation and enjoyment of green space.



Improving the health and well-being of students, staff and the wider community is a key aspiration for the university. Health and well-being encompass a wide range of considerations, including physical, social and mental health. The benefits of being outdoors, physical exercise and socialising are well-documented in terms of maintaining positive health and well-being. Enhancements to the landscape and public realm should therefore maximise opportunities to partake in exercise, provide access to nature and meet with friends or colleagues.

One of the greatest opportunities to enhance long-term health and well-being is to improve access to nearby green spaces and the canal towpath, notably the potential for a bridge link to Mile End Park and a pedestrian link to Meath Gardens. These connections will enhance accessibility to wider green infrastructure, providing extensive opportunities for physical recreation and enjoyment of green space. General enhancements to pedestrian connectivity with neighbouring areas and ample provision of cycle

parking within the campus will also encourage active, healthy transport modes.

The inclusion of external gyms or exercise stations, sensitively designed within the landscape, should be provided to create opportunities for accessible physical exercise and socialising. Where possible, equipment should aim to offer other benefits or encouragement such as generating power to charge phones or lighting for the space. Proposals to extend the footprint of the campus gym will further increase opportunities for physical exercise.

The existing ‘Green Mary’ sensory and allotment gardens provide food, opportunity for socialising and light physical exercise, whilst gardening is also known to boost mental health. Where possible, the ‘Green Mary Garden’ should be extended as part of development proposals within the Residential Quarter, or replicated elsewhere throughout the campus where appropriate. Opportunities for active involvement and workshops for students, staff or neighbouring

communities will further extend the health and well-being benefits of the gardens.

General enhancements to campus green spaces, such as vibrant planting design that provide year-round interest, may also aid mental health and mood of students and staff. Special planting design locations should be focused at key spaces, entrances or primary routes to maximise exposure. New green spaces brought forward as part of development proposals, at both ground and roof level, should also seek to create landscapes that aid mental health and well-being. As with ‘Green Mary’ Gardens, opportunities for student/community involvement, maintenance and upkeep should be explored.

New development proposals should have at their heart regard for health both in providing spaces that lend themselves for well being (establish opportunities for all to socialise, provide good sunlight to external amenity space, encourage travel by foot and cycling, create opportunities for exercise spaces) but also critically demonstrate how the new development can help tackle identified structural inequalities in health outcomes both for those studying and working in the University but also within the wider community. Refer to Health Impact Assessment guidance and the Local Plan.

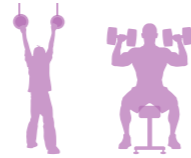
Improved connections to Meath Gardens, the Canal towpath and Mile End Park. Better access and encouragement for exercise and access to nature



Existing sports/ball court



Improved campus facilities: outdoor gym and exercise stations integrated within landscape design



Extension of Green Mary Gardens provides opportunity for student involvement/social interaction, offering physical and mental benefits



General enhancement of landscape and planting design of campus green spaces. Biophilia and interaction with nature are known to boost mental health. Opportunities for student volunteering offer further physical, social and mental health benefits



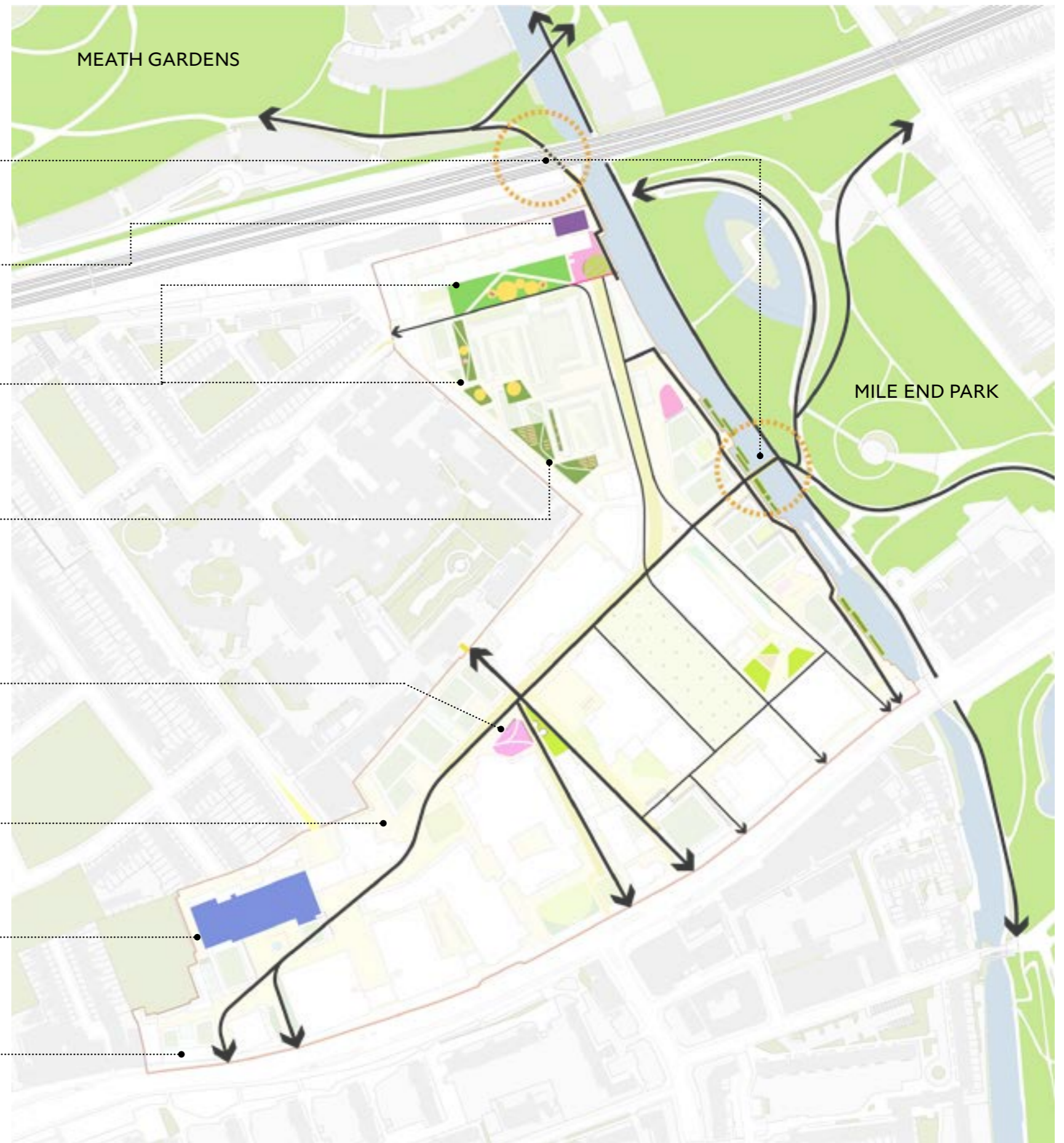
A long-term cycle parking strategy for the campus will encourage cycling to and from campus



Increased gym footprint and facilities provide more opportunity for exercise and physical activity



A more legible and pedestrian-priority campus will promote walking around and through the site to neighbouring areas



Proposed links and opportunities for health and well-being activities

9.0 BIODIVERSITY AND ECOLOGY

LOCAL PLAN POLICY: KEY POINTS

POLICY D.ES3 - URBAN GREENING AND BIODIVERSITY

Development is “required to protect and enhance biodiversity, through: a. maximising the provision of ‘living building’ elements, b. retaining existing habitats and features of biodiversity value or, if this is not possible, replacing them within the development, as well as incorporating additional measures to enhance biodiversity”.

POLICY D.DH2 - ATTRACTIVE STREETS, SPACES AND PUBLIC REALM

Within this policy “development is required to positively contribute to the public realm through: ensuring that soft landscaping is maximised to soften the streetscape and provide visual and environmental relief from hard landscaping, buildings and traffic”.

POLICY S.OWS1 - CREATING A NETWORK OF OPEN SPACES

Proposals will be required to deliver “an improved network of green grid links in line with the Green Grid Strategy to enhance access to key destination points (town centres, community facilities and publicly accessible open spaces) and to and along water spaces, as well as provide ecological corridors for wildlife”.

POLICY S.OWS2 - ENHANCING THE NETWORK OF WATER SPACES

Proposals will be required to protect “the integrity of the borough’s water spaces” and maximise “opportunities for enhancing the aesthetic, ecological and biodiversity values of the borough’s water spaces... in line with the Tower Hamlets Local Biodiversity Action Plan”.



Currently, the campus’ green spaces lack biodiversity value in places, and existing buildings generally offer little in terms of sustainability. However, alongside future proposals, there is opportunity to create a truly biodiverse campus, with buildings that have high sustainability value. A design approach that maximises biodiversity, ecology and sustainability should be employed for all built development, new green spaces and enhancements to existing spaces. Where possible, low maintenance schemes that still meet biodiversity expectations should be sought.

Biodiverse roofs should be planned for all new developments, designed as part of a campus-wide roof and ecology strategy. Where possible, inaccessible ‘extensive’ green roofs should include plug plants or be seeded with native wildflowers to maximise biodiversity of the roofs, as well as provide ecological features such as bug hotels. The potential for usable ‘intensive’ green roofs should also be explored to provide both biodiversity and recreational benefits. Opportunities for retrofitting green or brown roofs on existing buildings should be considered. Where buildings are relatively low-rise, have a flat roof and free space, such as those within the Residential area.

Quarter, there is potential for retrofitting biodiverse roofs when roofs require replacement. Considerations such as structural integrity and safe maintenance access would need to be considered.

Development along the canal restricts ecological enhancement opportunities. However, proposals should seek to maximise ecological benefits along this important wildlife habitat and movement route as far as possible. Floating planters, planted with native wetland species, could be utilised along the canal, greening the route and offering multiple biodiversity and habitat benefits. Green spaces associated with canal development plots should also aim to maximise planting where feasible and incorporate appropriate species that will enhance ecology along the canal. Bat boxes in trees, or bird boxes integrated within built structures should also be considered across the campus.

Generally, plant species and typologies that are targeted within the local Biodiversity Action Plan (BAP) should be used within enhanced or new planting schemes. Native species and plants for pollinators should be favoured where appropriate. A particular

species of note is the native Black Poplar tree. These are now rare within the Borough, and there is a history of Black Poplars on the campus site, with one remaining within the Novo Cemetery. Where possible this tree species should be included within planting schemes to contribute to BAP targets and add to the sense of history for the site. Tree species should be planted in locations that are appropriate for their size and growing conditions, Black Poplar shouldn’t be planted closer than 5m to the Canal to avoid roots damaging the integrity of Canal walls.

Vertical greening should be considered to further enhance biodiversity and sustainability within the campus where feasible, such as on walls/railings or to blank building facades. Wild-flower meadows and bug hotels would be greatly beneficial to local wildlife.

Introduction of floating gardens will need to be carefully planned as these planters would alter the appearance of the historical commercial waterway. Upstream of a lock, these must also be securely fixed to ensure they do not become detached as the water is drawn into the lock, with the potential to foul by-weirs, gates or paddles. It will also be necessary to work with biomatrix (floating wetland supplier) on the most suitable plants. Sufficient spacing between planters should be introduced to ensure the water is still visible from the canal edge. In addition to planters the canal edge provides opportunity for additional moorings, including bollards for electrical moorings, any proposals are subject to consultation with the Canal & River Trust.

INCREASED BIODIVERSITY WITHIN PLANTING PALETTE

General biodiversity enhancement to landscaped areas within the Residential Quarter, focusing on specific areas to balance biodiversity with maintenance requirements. The section to the east adjacent to the canal should contribute to aspirations for ecological enhancement along the canal route.

RETROFITTED EXTENSIVE GREEN/BROWN ROOFS

Some existing student blocks are relatively low-rise, with flat roofs and free space. This provides opportunity to explore potential for extensive green or brown roofs to be retro-fitted as part of a campus wide green roof strategy.

EXTENSION OF GREEN MARY GARDENS

General extension and increase of sensory gardens and allotments offers biodiversity and ecological benefits. Sensory gardens should focus on plants for pollinator species.

FLOATING PLANTERS ALONG THE CANAL

Development to the western edge of the canal limits ecological opportunity, However, a series of floating planters, planted with wetland plants, could significantly increase ecological and habitat benefits and contribute to LBTH Biodiversity Action Plan targets. Proposals should be developed with relevant stakeholders.

KEY AND PRIORITY SPECIES

New or revitalised landscape areas provide opportunity to include species or habitats that are of priority to the Local Authority, such as native Black Poplar trees within the Canal Gardens spaces, and others targeted within the BAP

SUDS (NEW AND RETRO-FITTED)

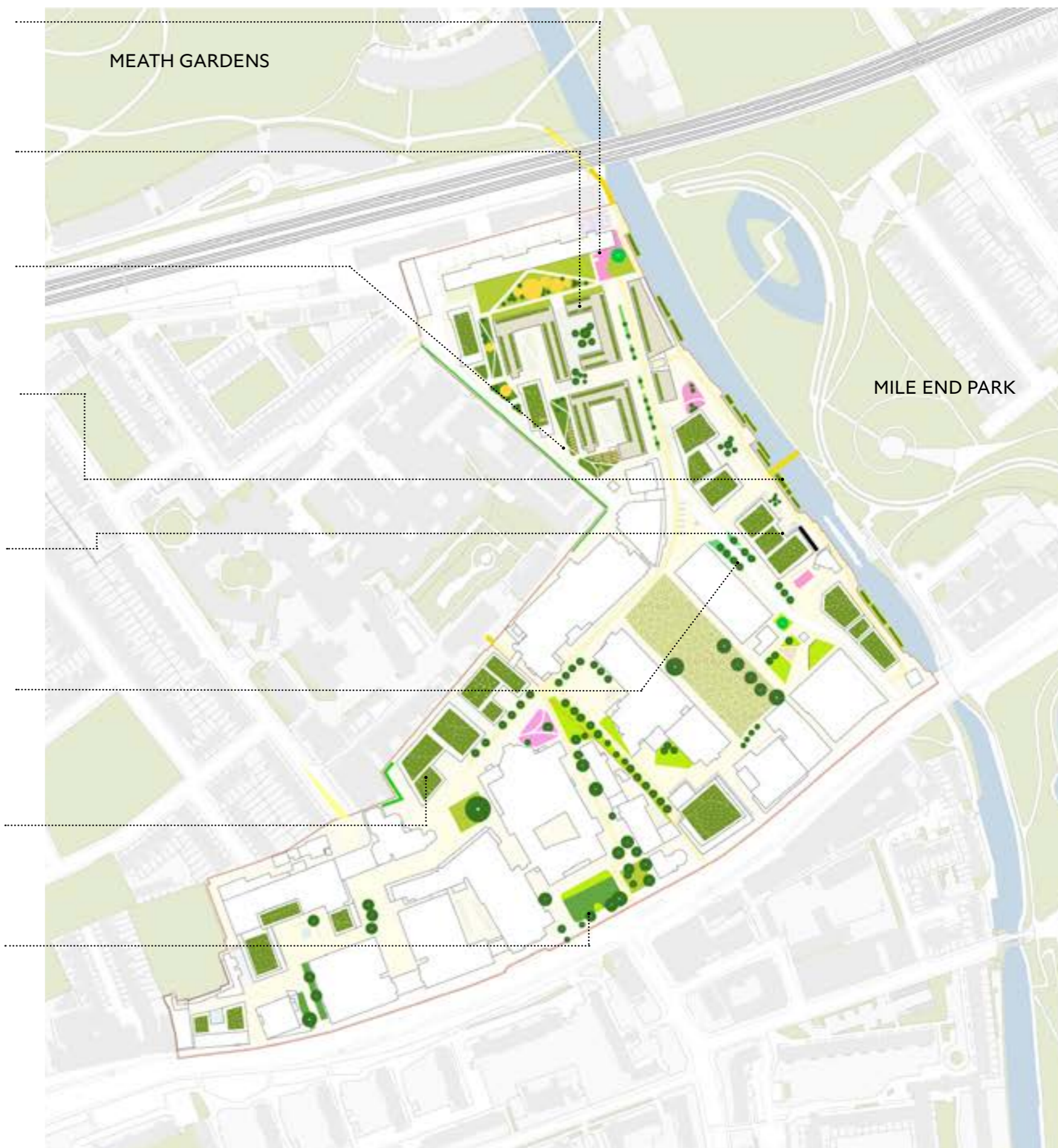
Adjustments to vehicular routes and new buildings provide opportunity to integrate more SuDS within the campus, such as rain gardens capturing surface-run-off from roads; and landscape areas capturing grey water from buildings.

EXTENSIVE/INTENSIVE GREEN ROOFS TO NEW BUILDINGS

New buildings provide opportunity for both extensive as well as accessible intensive green roofs. Designs should align with wider ecological aspirations for the canal.

GENERAL BIODIVERSITY ENHANCEMENT TO EXISTING SPACES

Alongside development proposals, there is opportunity to review existing planted areas campus-wide to assess biodiversity enhancement opportunities. This should be focused on key spaces and gateways to create a balance with maintenance commitments. Opportunity areas include Queens' Lawn, Arts Square and International Garden. Inexpensive and low maintenance opportunities should also be sought, such as sensitive seeding within the Cemetery



10.0 WAY-FINDING AND INTERPRETATION

LOCAL PLAN POLICY: KEY POINTS

POLICY S.DH1 - DELIVERING HIGH QUALITY DESIGN

This policy requires development to “create well-connected, inclusive and integrated spaces and buildings which can be easily adaptable to different uses and the changing needs of users”. It also requires development to “provide a mix and range of publicly accessible open spaces and water spaces that promote biodiversity, health and well-being”.

POLICY D.DH2 - ATTRACTIVE STREETS, SPACES AND PUBLIC REALM

Within this policy, development is required to contribute to improving and enhancing connectivity, permeability and legibility across the borough, ensuring a well-connected, joined-up and easily accessible street network and wider network of public spaces.

Within this policy, “development is required to positively contribute to the public realm through: integrating high quality public art into the public realm, especially at gateway locations or other appropriate landmarks, and retaining existing good quality art in the locality of new development, where possible”

POLICY D.OWS3 - OPEN SPACE AND GREEN GRID NETWORKS

Within this policy “strategic development should contribute to the delivery of new publicly accessible open space on-site which should: be well-connected and way-marked to other open space”.



A campus-wide way-finding and interpretation strategy should be developed to aid legibility whilst highlighting the heritage and landscape value of the site. The way-finding and interpretation elements could fall within three general categories:

- Way-finding/directional elements;
- Heritage and interpretive elements;
- Landscape/ecological elements.

Way-finding and directional elements should provide directions and mapped information to enable users to easily navigate the campus and move between buildings, spaces and wider connection points. The Masterplan proposals will enhance connectivity through the campus and create better links with its neighbours, providing a fantastic opportunity to create a suite of way-finding elements to assist those moving around or through the site, whilst promoting the QMUL brand and identity.

Heritage and interpretive elements should be located throughout the campus to highlight key historic buildings or other elements of the built environment. Interpretation boards should reveal the history of the campus and tell the stories of historic events or achievements from past alumni. A ‘Heritage Trail’ should be formed to strategically locate elements and provide routes that users can follow, adding interest to, and encouraging exploration of, the public realm. There is also opportunity to combine public art as part of the strategy, such as sculpture, mural art, or heritage references within landscape design. Opportunities should be sought to engage with local Historic Groups and the local community to develop a heritage and arts strategy.

Landscape and ecological elements should highlight the environmental benefits that the university is implementing to raise knowledge and awareness of



-----HERITAGE TRAIL

Heritage trail linking key buildings, spaces and heritage interpretation boards or artworks. Opportunity for in-ground paving art, unifying materials, wall murals or lighting to denote the trail and add to the heritage and sense of place of the campus

● SIGNAGE/PUBLIC ART EXPLORING THE LOCK KEEPERS COTTAGE AND IMPORTANCE OF THE CANAL TO THE AREA AND TO LONDON

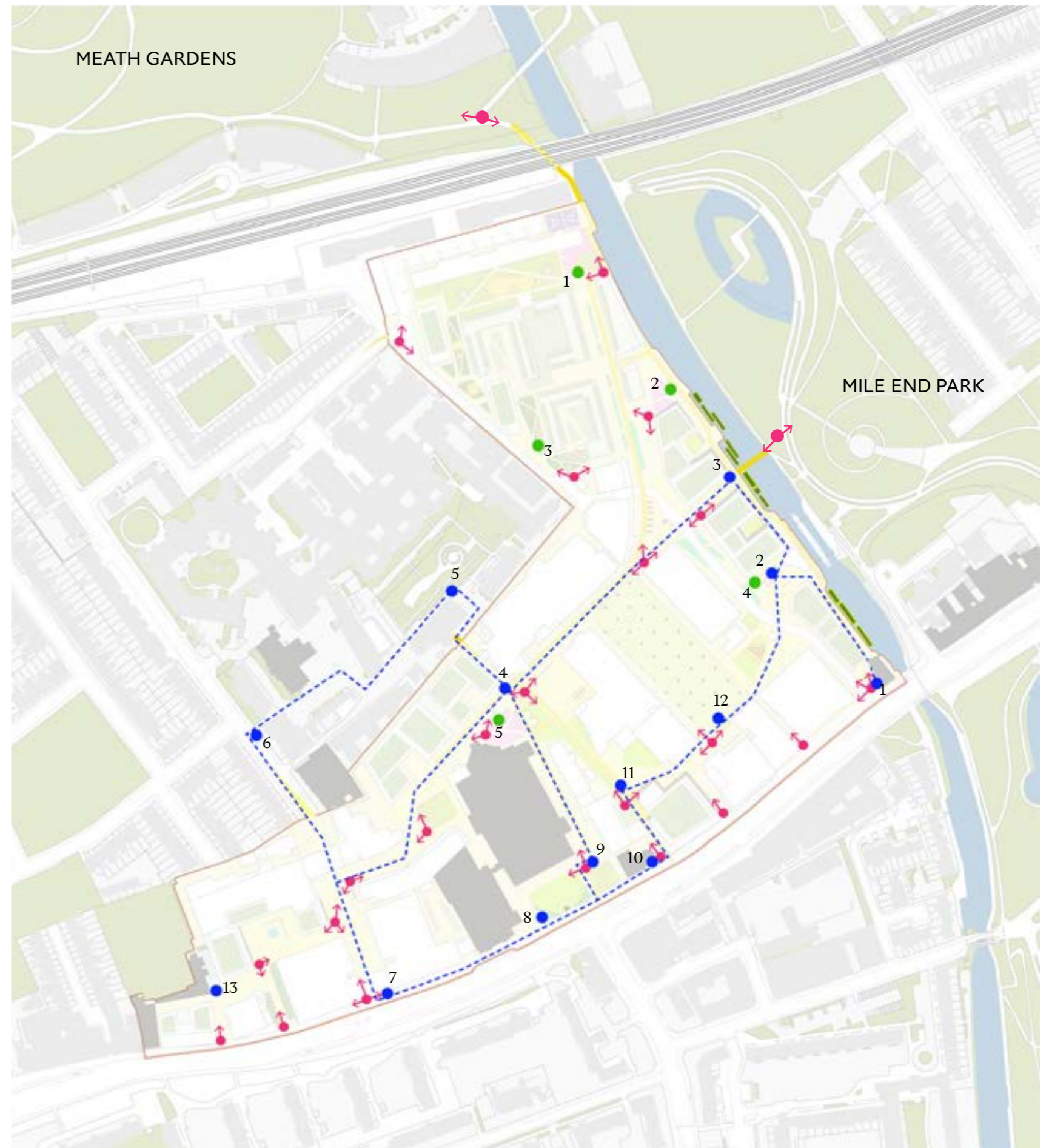
1. Gateway signage focusing on the campus's general history and buildings
2. Signage/public art exploring the Lock Keepers building and importance of the canal to the area and to London
3. Signage charting the recent history of the area, development of Mile End Park and the continued importance of the canal
4. Signage/public art charting the history of Mile End Hospital and links to the campus
5. Signage exploring the history and importance of the garden at Mile End Hospital
6. Signage showing the history of the neighbourhood, its listed buildings and Conservation Area status
7. Gateway signage exploring the history of Mile End Road and its importance within the London Context and that of the campus
8. Signage focusing on the history of the People's Palace
9. Signage focusing on the history of the Queens' Building
10. Gateway signage exploring the history of the listed chapel, listed wall and the campus
11. Signage/public art highlighting key figures from QMUL alumni
12. Existing signage/memorial garden for the Cemetery
13. Signage/public art to highlight the inaccessible cemetery and listed buildings at the west of the campus

● ECOLOGICAL/PLANTING INTERPRETIVE SIGNAGE

1. Signage focusing on biodiversity and habit improvements within the 'Long Garden' and student resident quarter
2. Signage exploring the 'Floating Gardens' and other ecological enhancements along the canal including identification of key species such as Black Poplar trees
3. Signage and information on plant species being grown in the allotment garden and medicinal benefits of plants within the sensory garden
4. Signage identifying general biodiversity improvements through the campus, such as plants for pollinators, the role and implementation of SuDS and benefits of green roofs and walls
5. Signage and plant identification of species/typologies within the 'International Garden'

The above proposals are indicative. Opportunities should be sought to engage with the community and local heritage or interest groups to further define the heritage, way-finding and interpretation strategy.

- Heritage Trail
- Heritage Signage/art
- Ecological/Biodiversity Signage
- General directional way-finding signage to aid legibility



11.0 TRANSPORT AND ACCESS

LOCAL PLAN POLICY: KEY POINTS

POLICY S.TR1 SUSTAINABLE TRAVEL

seeks to improve travel choice, maximise sustainable travel opportunities, prioritise pedestrian and cyclist movement and public transport access in favour of vehicular travel. Development should be focused in areas of high public transport accessibility, not adversely impact the capacity, quality, accessibility and safety of the transport network and incorporate improvements to pedestrian and cycling environments.

POLICY D.TR2 IMPACTS ON THE TRANSPORT NETWORK

requires assessment of impact of new development on the transport network and effective mitigation measures to be provided where required.

POLICY D.TR3 PARKING & PERMIT-FREE

details car and cycle parking standards and prioritises sustainable approaches to parking through safeguarding space for cycle parking and promoting car- and permit-free development.

POLICY D.TR4 SUSTAINABLE DELIVERY & SERVICING

requires development to minimise and mitigate servicing impact on the transport network and local amenity. The use of low emission vehicles, electric vehicles, bicycles and freight consolidation facilities is promoted, alongside efficient management in terms of delivery volumes and timings.



Key Campus Links

This section provides a detailed overview of current transport conditions and management strategies operational within the Campus, and development principles relating to these that seek to help guide future growth and expansion. The following elements are discussed:

- Access & Internal Routes;
- Car Parking;
- Cycle Parking;
- Servicing & Refuse Management;
- Travel Patterns.

11.1 ACCESS AND INTERNAL ROUTES

At present, vehicular-based delivery and servicing movements and drop-off and pick-up activity (e.g. taxi) typically occur on an ad-hoc basis. Primary

vehicular access to the Campus is gained from Mile End Road, including via Westfield Way to the east and Bancroft Road to the west. Secondary vehicular gated access is provided via Longnor Road at the north western edge of the Campus. This provides access to staff car parking facilities and for refuse collection vehicles (see Sections 3.3 and 3.5 respectively), with the access open between the hours of 07:00 and 19:00 daily.

Pedestrian access can be gained via a number of locations on Mile End Road as well as via Bancroft Road and from Mile End Hospital.

Vehicular and pedestrian access points, both into and within the Campus, are detailed in Security and Gateways diagram.

Policy links

- Policy D.SG3: Health impact assessments
- Policy D.SG5: Developer contributions
- Policy S.DH1: Delivering high quality design
- Policy S.TC1: Supporting the network and hierarchy of centres
- Policy S.OWS1: Creating a network of open spaces
- Policy D.TR2: Impacts on the transport network

Evidence links

- Tower Hamlets Infrastructure Delivery Plan
- Tower Hamlets Indoor Sports Facilities Strategy (2017)
- Tower Hamlets Green Grid Strategy (2017)
- Tower Hamlets Water Space Study (2017)
- Planning for Sport Development Management (Sport England, 2014)
- Active Design (Sport England, 2015)
- Building Bulletin 103: Area guidelines for mainstream schools (Department for Education, 2014)
- Baseline designs for schools: guidance (Department for Education, 2014)
- Health Building Note 00-01: General design guidance for healthcare buildings (Department of Health, 2014)



Existing transport infrastructure in Mile End

11.0 TRANSPORT AND ACCESS

11.2 INTERNAL ROUTES

There are two primary pedestrian routes that run internally through the Campus: the west to east route, running from the west gate and through Godward Square, towards Regent's Canal, and the north to south route, running from the student accommodation blocks located at the northern end of the Campus to east gate on Mile End Road via Westfield Way. The point at which these two routes meet is a key space known as The Curve.

Due to the bisection of Bancroft Road, the ad-hoc development of some buildings and the presence of the listed Novo Cemetery and walls, the west to east route is disjointed and inconveniently routed in places.

The SPD looks to enhance pedestrian and cycle permeability within the Campus and increasing access opportunities to and from the wider area. This includes through the provision of new access points via Meath Gardens to the north and through a new footbridge across the Regent's Canal, connecting to Mile End Park to the east.

Opportunities exist for QMUL to develop a comprehensive wayfinding strategy within the Campus; these should be exploited.

11.3 CAR PARKING

There are currently a total of 169 car parking spaces provided within the Campus, including 14 spaces sized and marked for use by Blue Badge holders. These are predominantly located within a staff car park located at the northern end of the Campus, accessed via Longnor Road and Westfield Way.

Approximately ten spaces are provided to the east of the Queens' Building, accessed via the in-out accesses onto Mile End Road identified in Figure 4, with an additional ten spaces located to the north of Drapers Bar & Kitchen and QMotion Fitness Centre accessed via Grantley Street. Six disabled bays are located off Westfield Way at the Campus's eastern boundary.

On-site parking is currently free of charge to staff members with a parking permit, with spaces available on a first-come-first-served basis. Until recently there has been minimal eligibility criteria applied for the allocation of permits, resulting in approximately 600 permits being issued.

During 2020 QMUL has developed and implemented a tiered-based eligibility criteria and application process to significantly reduce the number of permits available to staff. This provides priority to Blue

Badge holders and staff with specific childcare requirements that mean travel by alternative modes is not feasible (Tier 1), alongside those with underlying health conditions or who work hours that are not conducive to public transport use (Tier 2). As of December 2020, approximately 30 permits have been allocated.

Staff members are required to pre-book parking on a daily basis, with parking charges due to be introduced in August 2021 for use of on-site parking.

This revised allocation process is intended to respond to the anticipated reduction in car parking provision in future years.

11.4 CYCLE PARKING

Cycle parking is currently located across 38 separate locations within the Campus, providing approximately 625 cycle spaces. This equates to a ratio of approximately one space per 31 students and staff members. The location of on-site cycle parking facilities is presented in Cycling Infrastructure Figure.

It is noted that cycle parking provision across the Campus is ad-hoc and of mixed quality, and as such is not well utilised. A cycle parking occupancy survey conducted in March 2019 identified 42% utilisation levels across all cycle parking spaces within the Campus. Supporting facilities including changing rooms and showers are provided at basement level within the Queens' Building for use by students and staff.

Cycle parking provision should be consolidated to enable higher quality, secure and covered cycle parking to be provided, for example, through a cycle hub located within the Arts Quarter. This will both enhance security and encourage an uptake in cycling by students and staff, whilst also allowing improvements to the overall public realm within the Campus. Any cycling parking facilities should achieve the Secured by Design standard to prevent bike thefts.

New development within the Campus should give consideration towards the provision of new cycle parking facilities, whilst acknowledging existing levels of provision and demand. Regular monitoring of cycle parking demand should be undertaken, and supply expanded when required with land safeguarded for this purpose.

11.5 SERVICING & REFUSE MANAGEMENT

At present, vehicular deliveries and servicing access and refuse collection is typically undertaken on an ad-hoc basis at the discretion of the duty Security Shift Manager. QMUL has confirmed deliveries set out in Services Table take place on a regular basis.

It is recognised that some servicing activity (such as of medical gases and scientific/research material to the Joseph Priestly Building) is essential and the location and timing of this cannot be changed.

Levels of servicing activity that require access via residential streets to the north (such as Longnor Road) should be kept to a minimum to minimise impact of development on neighbouring properties.

Consolidation of student accommodation deliveries to a centralised location should be encouraged to remove the need for ad-hoc delivery vehicle access to student accommodation blocks via Westfield Way. Such centralisation provides more efficient management and greater security within the Campus. Principles of refuse and waste management, both within the Campus and in terms of external collection, should be maintained as per current arrangements.

Refuse generated by non-residential elements of the Campus is consolidated within a centralised waste container located at the north western edge of the Campus. This is collected weekly by an external contractor with vehicles accessing the centralised waste container via Longnor Road and Bradwell Street. Within the Campus, refuse is collected from individual refuse storage locations daily by QMUL Management and transferred to the waste container using small electric vehicles.

Refuse generated by Drapers Bar & Kitchen is stored within a standalone location to the rear of the QMotion Fitness Centre; this is collected by LBTH's refuse collection service with vehicles accessing the Campus via Grantley Street.

Residential refuse generated by the student accommodation blocks is collected via LBTH's refuse collection service, with vehicles accessing the Campus via Westfield Way and Mile End Road.

Primary refuse collection vehicle routes and storage locations are identified in Waste Management Diagram.

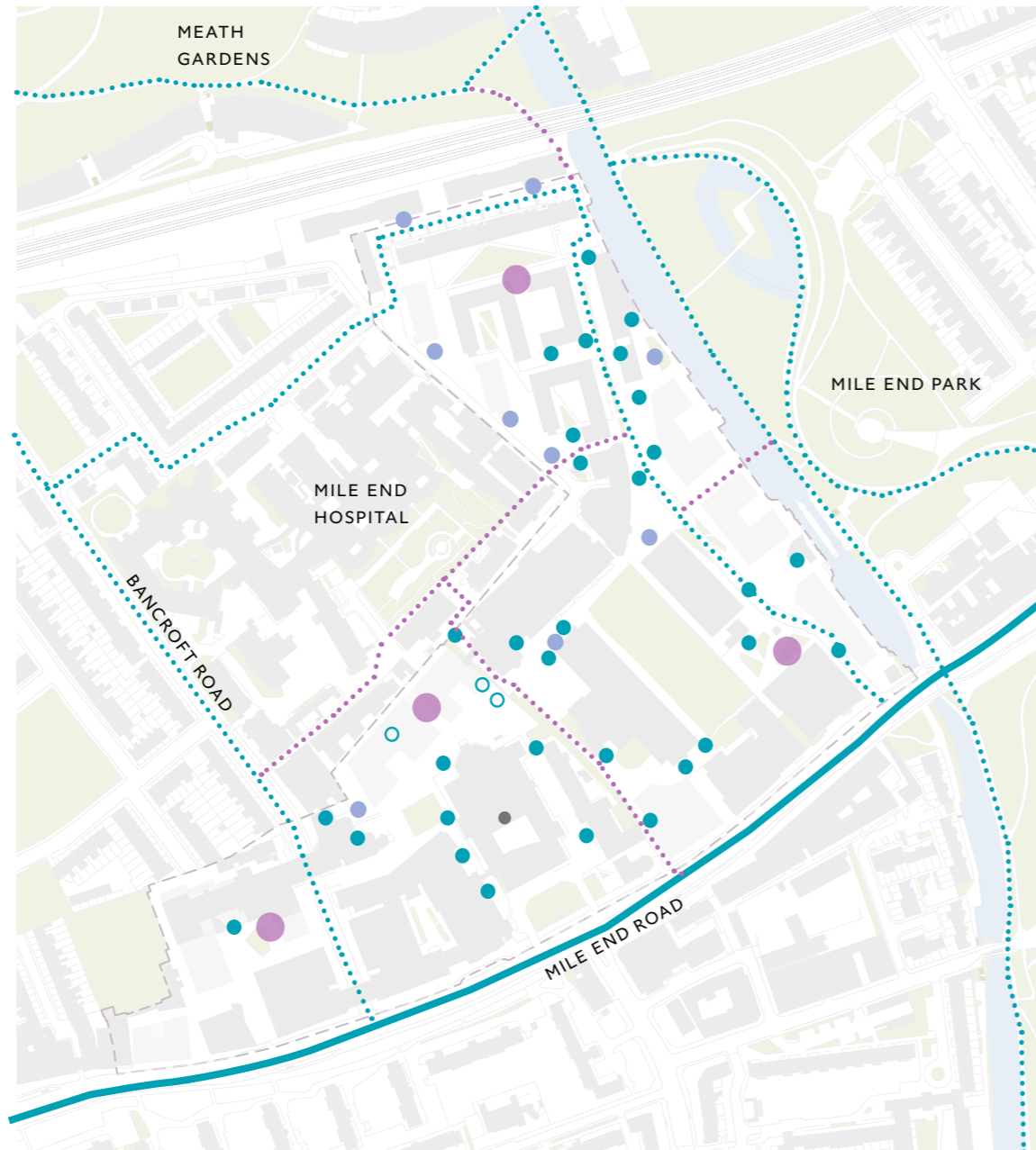
CYCLING INFRASTRUCTURE



Example of medium-stay sheltered cycle parking.



Example of long-stay sheltered and secure cycle hubs.



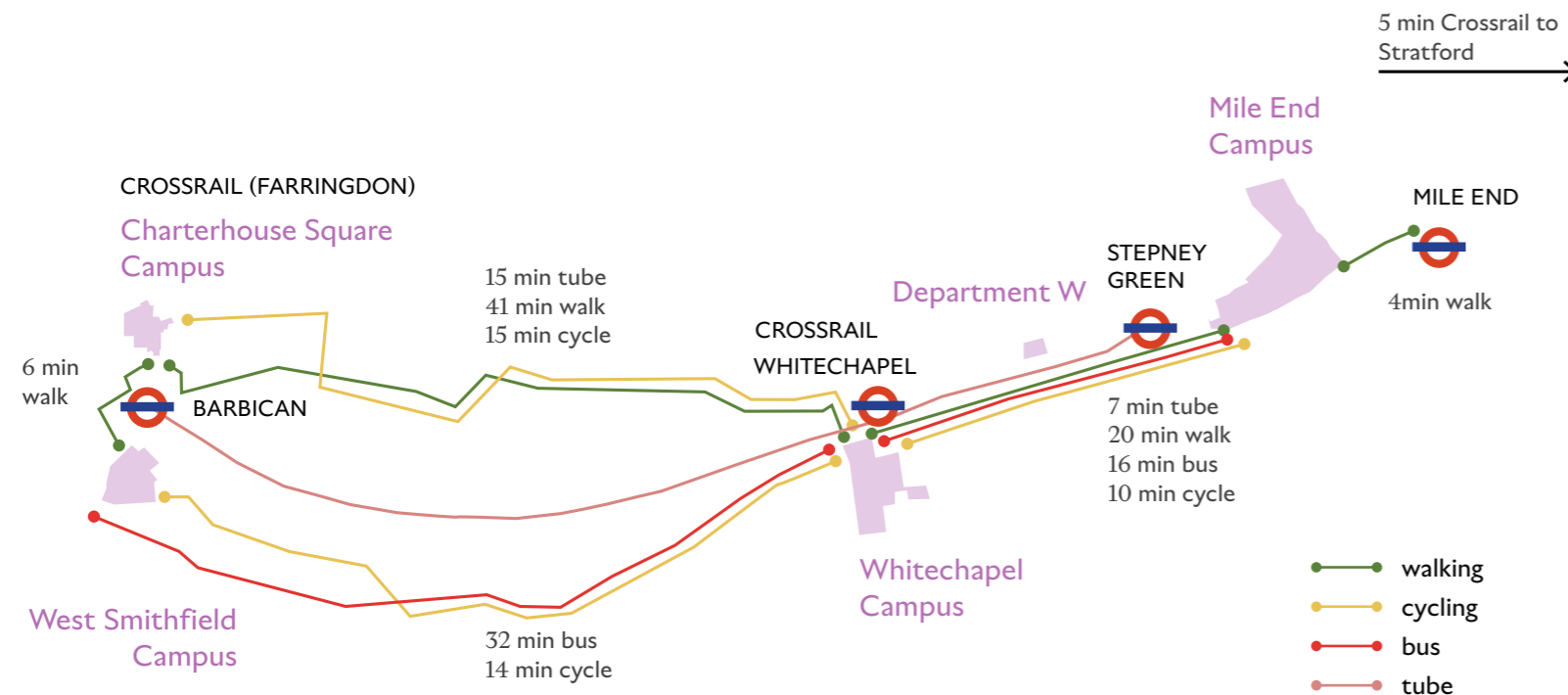
- Cycle Superhighway
- ⋯ Existing Cycle Routes
- - - Opportunities for new Cycle Routes
- Existing staff shower facilities
- Existing Cycle Parking to be relocated
- Existing Cycle Parking
- Opportunities for new Cycle Hub
- Opportunities for new Cycle Shelters - secure

KEY PEDESTRIAN ROUTES



- - - Main Pedestrian Axis
- ⋯ Pedestrian Routes

11.0 TRANSPORT AND ACCESS



11.6 TRAVEL PATTERNS

Development within the Campus should promote walking and cycling as preferred mode choices for both students and staff, through design and provision of supporting facilities.

Alongside this, soft measures should be undertaken by QMUL as part of wider Travel Plan initiatives to encourage modal shift in line with identified targets.

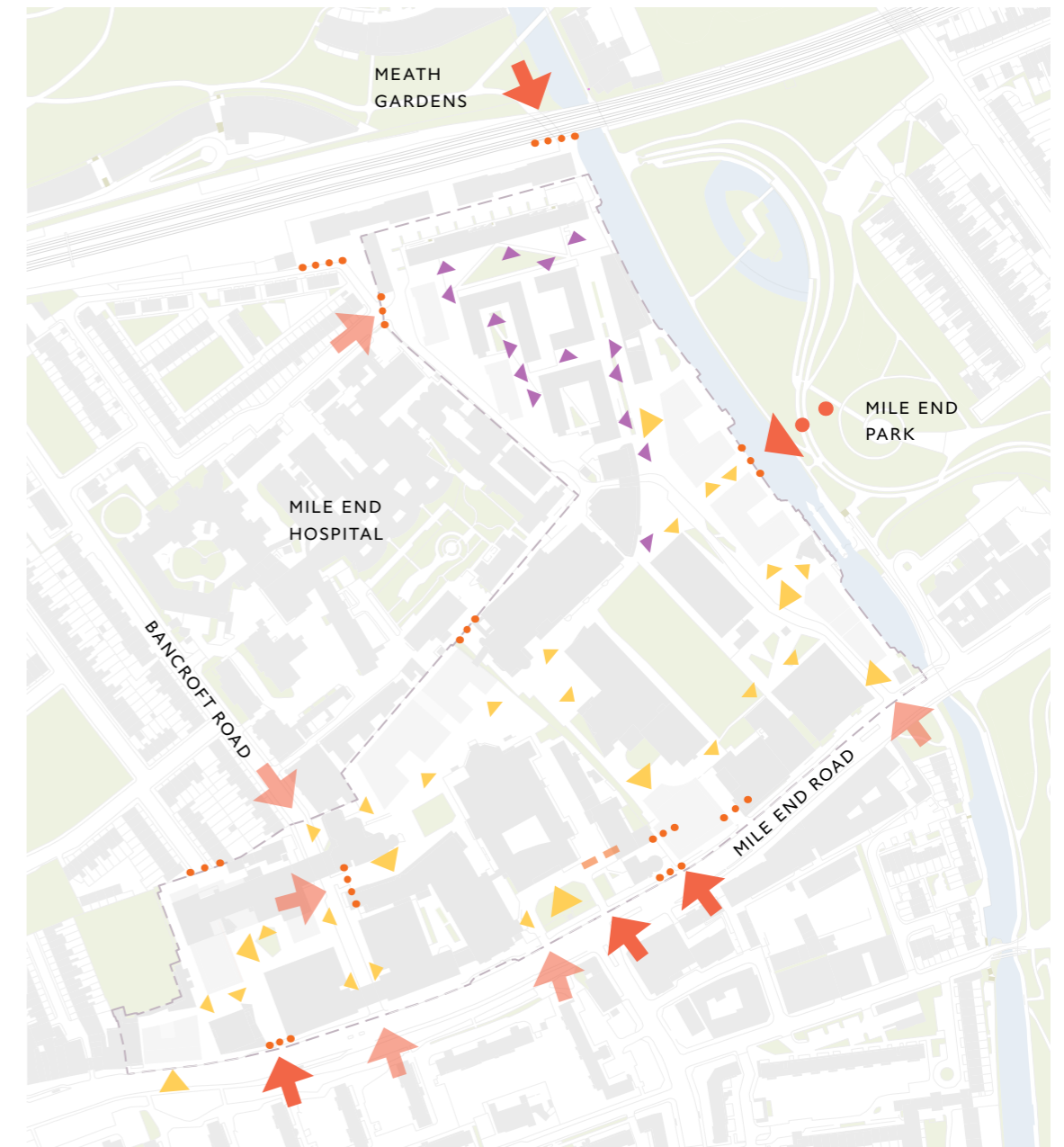
Policy links

- Policy D.DH8: Amenity
- Policy STR1: Sustainable travel

Evidence links

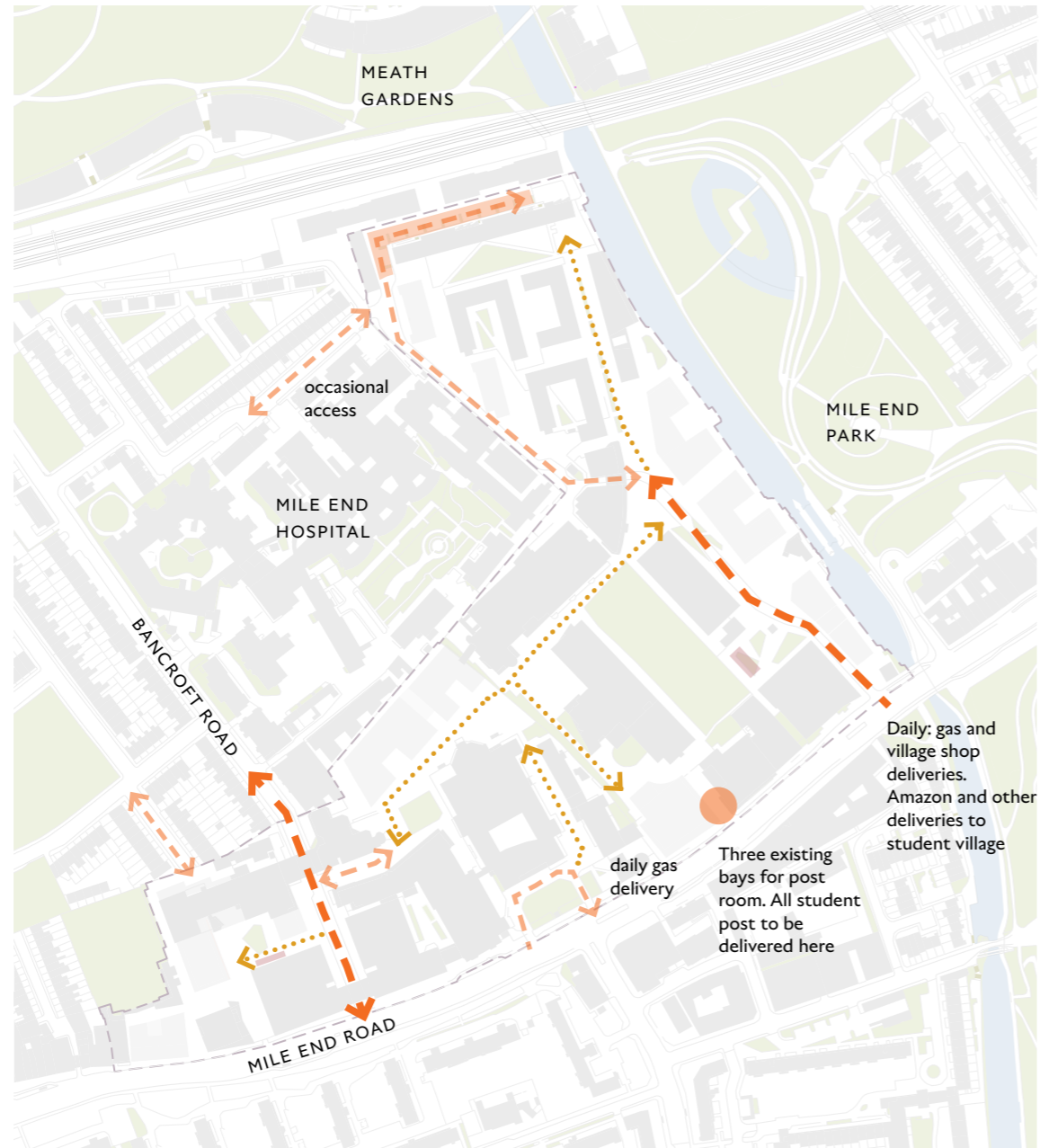
- Affordable Student Accommodation Planning Guidance (GLA, 2016)
- Housing Supplementary Planning Guidance (GLA, 2016).
- London Plan Annual Monitoring Report (GLA)
- British Standard BS8300: Design of an accessible and inclusive built environment

SECURITY/ GATEWAYS



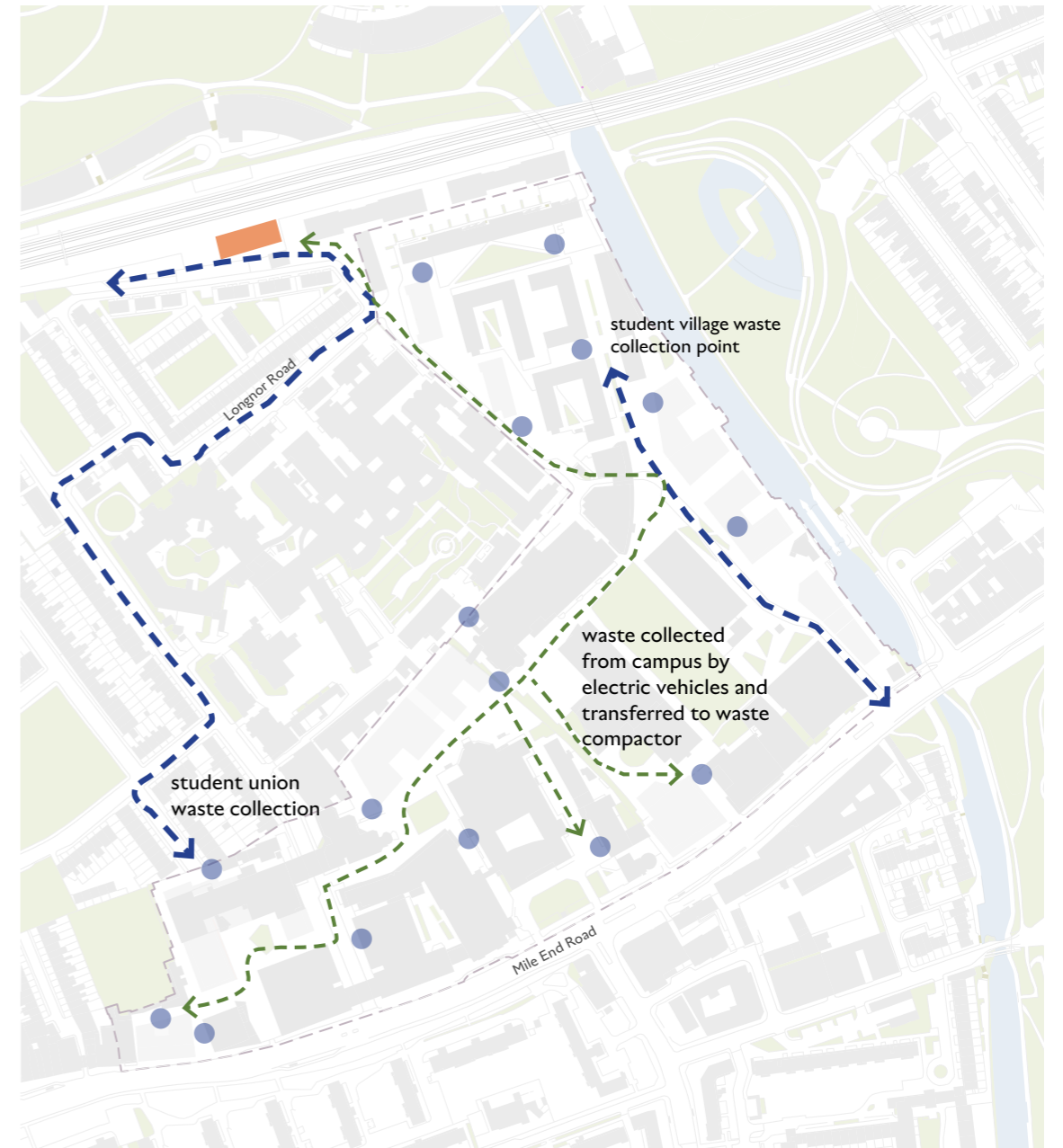
- ▲ non-residential entrance
- ▲ residential entrance
- ↑ pedestrian gateway
- ↑ campus gateway with vehicle access
- locked gate
- vehicle barrier

SERVICING, PARKING AND VEHICLE ACCESS



- primary vehicle access
- secondary vehicle access
- emergency vehicle access
- car parking
- opportunities for motorcycle parking
- opportunities for new post room and 'goods in'

WASTE MANAGEMENT



- recycling + general waste
- skip + general waste compactor + recycling compactor
- LBTH weekly access for waste collection
- QMUL daily electrical vehicle access for waste collection

12.0 ENVIRONMENT: SUSTAINABLE & REGENERATIVE DESIGN

LOCAL PLAN POLICY: KEY POINTS

A ZERO CARBON BOROUGH

In March 2019 Tower Hamlets became one of the first councils in the country to declare a climate emergency. The council is committed to become a zero-carbon or carbon neutral council by 2025.

Policy D.ES7 sets out for all development to be Net Zero Carbon and identifies that this should be achieved through a minimum reduction in on-site carbon dioxide emissions of 45%, and the remaining carbon dioxide emissions (to 100 per cent), to be off-set through a cash in lieu contribution.

Policy S.ES1 Protecting and enhancing the environment in the Local Plan mentions that proposals which minimise the use of natural resources and work proactively to protect and enhance the quality of the natural environment will be supported.

This policy is complemented by several key policies:

Policy D.ES2: Air quality

Policy D.ES3: Urban greening and biodiversity

Policy D.ES4: Flood risk

Policy D.ES5: Sustainable drainage

Policy D.ES6: Sustainable water and wastewater management

Policy D.ES9: Noise and vibration

Policy D.ES10: Overheating

refurbishment projects;

- Biodiversity and ecological enhancement: Dedicated budget line into all major refurbishment and new build projects to support biodiversity enhancement.

12.3 LETI GUIDANCE

The London Energy Transformation Initiative (LETI) has published important guidance on actions and targets to enable new developments achieve the carbon reduction targets set by the London Plan, the Council, and QMUL. It is recommended that the LETI Climate Emergency Design Guide be used on all new build designs regarding fabric performance, services, and embodied carbon.

12.4 SUSTAINABILITY TOOLKIT

The toolkit sets key aspects that should be considered when developing new proposals or refurbishing existing. These are explored in detail further in the chapter.

The LBTH climate emergency declaration identifies future zero carbon requirements that should be integral to the design of schemes; and retrofit proposals should reflect this too. There is greater focus on carbon emissions across the Borough following the LBTH Climate Emergency declaration in 2019 and adoption of the Councils net zero carbon plan in April 2020. For 2021/2022, Climate Change is one of the Mayors top priorities and in March 2021 the Mayor hosted the Borough Climate Engagement event.

12.1 ENVIRONMENTAL SUSTAINABILITY ACTION PLAN (ESAP)

QMUL 2020 – 2023 Environmental Sustainability Action Plan (ESAP) has been developed as an immediate response to the current and emerging environmental risks and challenges, and is aligned with the UK's 2050 net zero carbon target and de-carbonisation priority.

Through this action plan QMUL will establish strong foundations for the development of a longer-term, more ambitious strategy and plan, engage staff and students across the institution in the development of this longer-term strategy and plan over the next 2 to 3 years.

12.2 NET ZERO CARBON 2030

QMUL Action Plan highlights several key areas of immediate action:

- Managing Carbon: a six-year 30% carbon reduction target against the 2018/19 baseline;
- Building energy efficiency: reduce the energy used across QMU UK campuses by 30% by July 2025 against the 2018/19 baseline;
- Travel & transportation;
- Water Management and Efficiency;
- Recycling and Waste Management;
- Construction: Refurbishment and New-builds: aiming to integrate innovative building energy efficiency technologies into all new builds and



OPERATIONAL CARBON

Building energy efficiency campus-wide strategy + fabric+ services



Diagram - LETI Climate Emergency Design Guide

Building energy efficiency is one of the key elements in the QMUL Action Plan. Future developments will have to adopt an exemplar approach by using the GLA Energy Hierarchy.

Fabric first: The thermal performance of the building fabric shall have to be developed to provide a comfortable internal environment throughout the year, with a specific emphasis upon the prevention of summertime overheating and winter heat loss, avoiding thermal bridges and minimising draughts by providing an excellent level of airtightness. Providing natural ventilation, adequate daylight and shading are key elements of a passive design approach that will save energy and help achieve net zero carbon.

LETI fabric targets and guidance can be adopted to achieve this. The use of thermal mass where feasible can help regulate the internal temperature and reduce the risk of overheating.

Services: a well ventilated building, with low energy heating (fossil fuel free), with good user control measures, are the most important considerations for future developments. Campus-wide approach to low energy services and systems can improve efficiencies across QMUL campus and building portfolio.

EMBODIED CARBON

Retrofit first

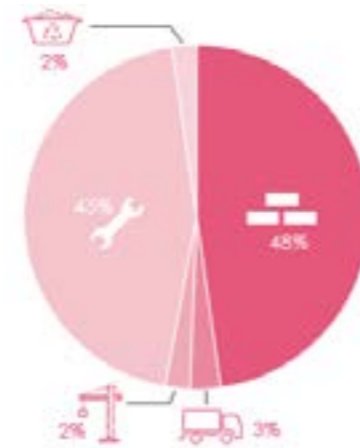


Diagram - LETI Climate Emergency Design Guide

Future developments will have to adopt a Retrofit first approach that focuses on:

- retaining, adapting and extending existing buildings & existing structures as first design option to be assessed. The analysis should include the cost and embodied carbon savings by retaining existing structures, as opposed to demolition & new development;
- use of pre-demolition audits which can indicate which materials can be reused/reclaimed/upcycled on the same building or on the wider QMUL campus (see also the Waste & Circularity section);
- build-in adaptability for future change of use.

Campus-wide interventions would need to formulate a 'Retrofit Masterplan' prioritising: an assessment of the existing building construction and condition; strategy for 'fabric first' energy conservation; a strategy for ventilation, moisture management and indoor air quality.

Where deep energy retrofit is not a viable option, phased step-by-step refurbishment works should ensure that upgraded components are to the highest standards, properly sequenced and that future works can be integrated into the 'retrofit masterplan'.

RENEWABLES

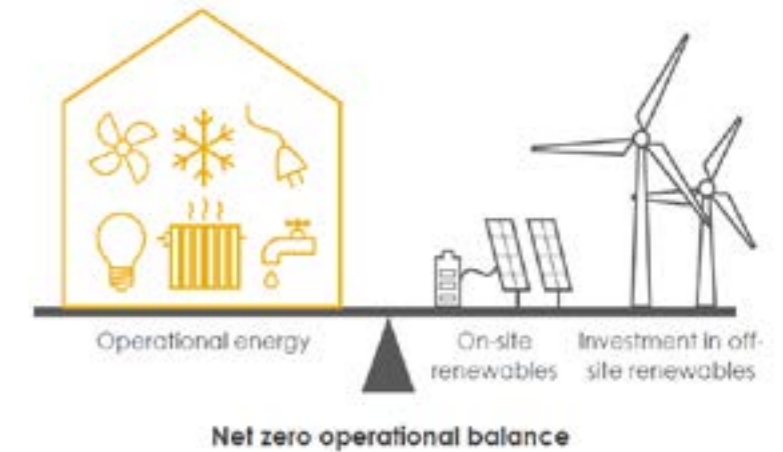


Diagram - LETI Climate Emergency Design Guide

In order to reach net zero carbon balance without relying heavily on carbon offsetting, a city centre campus can provide significant amount of renewable energy generation via photovoltaic panels on campus.

Local renewable energy generation can improve the resilience of the local energy strategy, help achieve net zero carbon on QMUL campus and contribute to the decarbonisation of the grid.

Using a combination of carefully chosen planting and PV installation can provide both green roofs and increase biodiversity as well as provide renewable energy on campus.

Maximising roof areas for PV energy generation will be key on existing and proposed developments.

The Regent's Canal offer opportunities for low and zero carbon thermal energy.

12.0 ENVIRONMENT: SUSTAINABLE & REGENERATIVE DESIGN

ECOLOGY, BIODIVERSITY HABITAT & GREEN ROOFS



Tower Hamlets Local Biodiversity Action Plan adopted in July 2019 to start on 1 October 2019, identifies priority habitats and species and sets the council's aims and objectives for biodiversity. Biodiversity conservation and enhancement in Tower Hamlets is delivered by Tower Habitats, the Tower Hamlets Biodiversity Partnership.

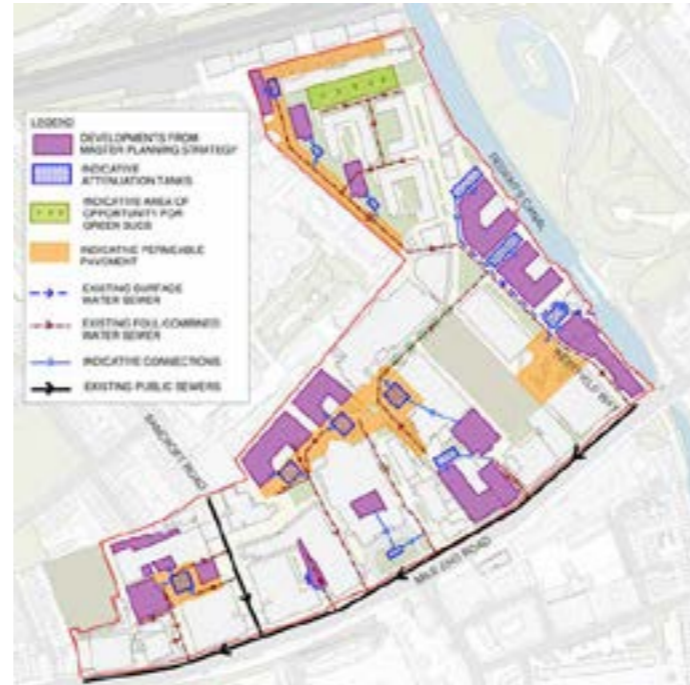
Developing local green corridors and proposing a 'no net loss of green space' policy for future developments are key elements in addressing the current biodiversity crisis.

As noted in the Renewables section, all existing and proposed roof space must be used for increasing local biodiversity and producing renewable energy.

There are available systems that can accommodate both, while orientation and shading can indicate which areas are better suited for green roof alone when local energy generation is not suitable.

Green roofs should be prioritised in an urban environment that aims to become denser and more compact, to provide natural habitat to local wildlife.

SUDS & FLOOD RISK



As the site is underlain by the London Clay Formation, the suitability of using infiltration devices such as soakaways to discharge surface water into the ground on site is to be confirmed in the next stage.

The general principle of the proposed drainage strategy for the new developments is to utilise Sustainable Drainage Systems (SuDS) to provide the attenuation storage volume required in order to achieve the proposed discharge rate.

SuDS such as permeable pavement, rain garden and swales will provide other benefits including better water quality and improved biodiversity.

Rainwater saving strategies should be used to avoid the use of potable water to irrigate green spaces. Greywater/blackwater re-use should be considered on all new developments (see Water section).

There may be potential for surface water drainage to the Canal, any surface discharge to the canal would require prior consent from the Canal & River Trust.

POTABLE WATER



To address the limitations of the current mains water infrastructure it is proposed that a new water main is provided through campus.

Connections into the Thames Water Infrastructure on Mile End Road shall be made at either end of campus. Each of the connections shall be provided with utility meters, and shall be sized to deliver 50% of the campus's ultimate total demand. A primary stop valve shall be located at the halfway point of the network to mitigate any risk of back flow. It is envisaged that secondary stop valves shall then be strategically positioned along the network. This will enable sections of the network to be isolated in the event of an interruption to any part of the University's network, whilst still ensuring continuity of supply to the remainder of the campus.

Water saving features on QMUL via existing and new proposed appliances are key, considering that London has become a water stress area (this takes a long-term view of the balance between water availability and the demand for public water supply). Minimising potable water use by re-using rainwater/greywater on QMUL campus is recommended.

WASTE, MATERIALS & CIRCULARITY



Diagram - LETI Climate Emergency Design Guide

ENERGY high voltage network



SMART CAMPUS



A coordinated waste, materials & circularity approach is required to meet the carbon reduction targets.

Waste: Design out construction waste - reduce landfill waste to minimum, reuse/upcycle materials

Circularity: Pre-demolition audits - for all demolition projects, in order to provide information on: materials that can be reused on site or other QMUL buildings, to be logged and placed in specific 'reuse materials storage' to be assigned on campus, or forwarded to salvage/reclaim yards or materials exchange networks
Use Circularity tools (eg Regenerate) and the London Circular Economy Primer to assess existing buildings and new developments through four criteria: Adaptability, Deconstruction, Circular materials selection, Resource efficiency + Evaluate opportunities to source secondary materials from reclamation yards, materials exchange platforms

Material choices: specify healthy materials that do not include substances on the RED/REACH lists, use low embodied carbon materials; use pre-fabrication off-site as much as possible. Optimise structural and facade build up decisions to minimise embodied carbon on all new developments

A proposed 11kV distribution network for the Mile End campus would interconnect the existing Engineering East 11kV point of connection to the Energy Centre 11kV point of connection. This would form the first interconnected circuit that could be supplied via either end for resilience.

The second circuit would connect a proposed 11kV point of connection supplied via the existing 11kV cables from the DNO within Westfield Way and located in one of the new buildings constructed in the revised Masterplan to the existing Energy Centre 11kV connection. The interconnecting circuits (1+2) would be routed via the existing substations where secondary substations could be constructed to supply the existing loads. Although the existing UKPN assets could be purchased by the University it would not be recommended without an independent inspection and valuation as the assets documented and viewed to date have been towards the end of their operational life cycle, which is typically 30 years. Instead it is suggested that the client uses a standardised design of Ring Main Units and close coupled transformers of a standardised design and construction so that procurement of spares is greatly simplified.

Investment in the HV network, supports growth of the university and enables a step change in the use of electricity as the primary source of low carbon energy on campus, to meet its own and London Plan carbon targets

The SMART campus is an organic response to the growing challenges of the future; it is one that is highly connected and provides a platform for global network analytics to make data driven decisions.

This group of connected technologies enables all things including people, facilities, buildings, transport, learning, waste, energy and sustainability to communicate together and make intelligent cohesive decisions. The connections are evolving and involve digital as well as social networks. They are local, global, remote and face to face.

The user includes anyone or anything that has a connection with the campus and its wider extension to society.

12.0 ENVIRONMENT: SUSTAINABLE & REGENERATIVE DESIGN

ADAPTABILITY & RESILIENCE



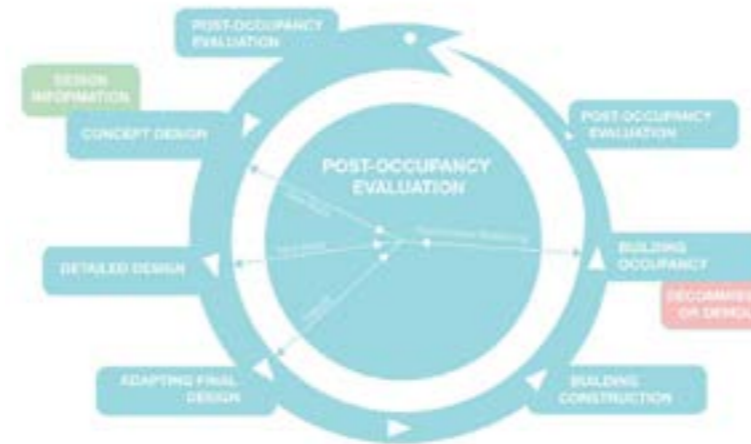
Diagram - LETI Climate Emergency Design Guide

All developments to carry out a Basic Resilience risk assessment and highlight Climate Adaptation measures.

Analysis of resilience and adaptability to include:

- local infrastructure/energy (include renewable energy in site);
- energy bills (minimise energy use);
- potential flooding (assess flood risk, sources and measures- see 'Water' and SUDS sections);
- potential water scarcity (low flow taps, etc + water reuse - see 'Water');
- risk of overheating (use passive measures & low energy systems);
- discuss landscape & maintenance.

KNOWLEDGE SHARING

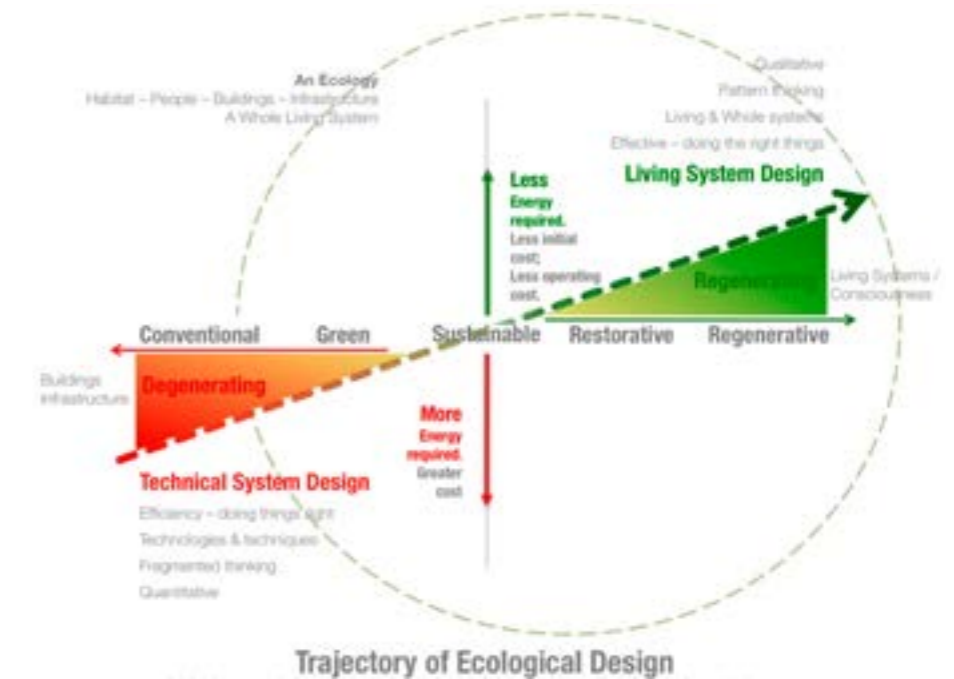


Sharing knowledge and lessons learned is part of QMUL ethos as a lead University and learning space.

All new developments will incorporate Post-Occupancy Evaluation studies, to include as a minimum:

- site visit & review of materials, services, use of space;
- interviews with design team and key facilities management representatives;
- energy use analysis (metered data/ BMS);
- environmental conditions analysis (environmental sensors data on temperature, relative humidity and CO2 in key spaces);
- Building User Survey for permanent and transient users.

REGENERATIVE DESIGN



In order to address the climate and biodiversity crisis and promote QMUL carbon pledges, future developments can help QMUL transition past the net zero carbon targets goals to a truly regenerative design approach that goes beyond sustainability and minimising negative impact to providing net positive contributions to the environment.

Targeting truly restorative regenerative design approaches on innovative projects across the campus can produce flagship examples which highlight the University's commitment to excellence, research and innovation.



Fabric first & passive measures:

- compact form
- external shading on south, east, west orientations
- high performance fabric



Net zero carbon

Minimizing operational energy – to achieve LETI targets and net zero carbon in operation



Low energy systems + Renewable energy

- fossil fuel free heating/cooling
- maximising renewable energy generation on campus



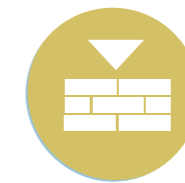
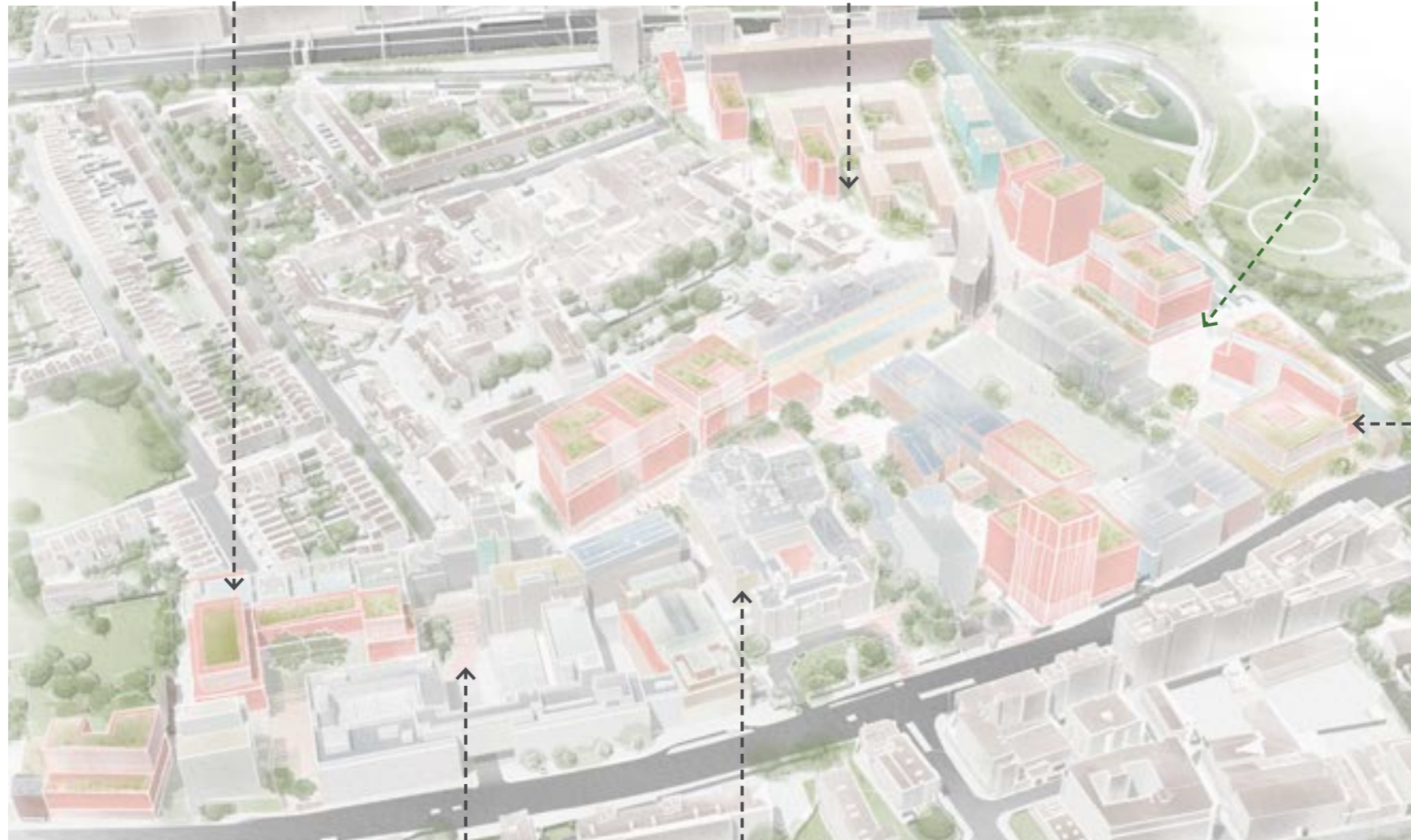
Biodiversity:

- create green corridors between habitat enhancing areas
- re-wild; include mature tree planting;



Water & SUDS:

- minimising potable water use + re-use of rainwater + flood resilience



Embodied carbon

- Retain, adapt and refurbish as first design solution
- New build: optimised structural and facade build up decisions to minimise embodied carbon
- minimising embodied carbon in materials choices



Waste, materials and circularity

Prioritise local and low carbon manufacturing to include local, circular materials (recycled/regenerative/reused/refurbished), in construction.
- use Circularity approach (adaptability, deconstruction, circular material selection and resource efficiency)



Health & comfort

- natural light,
- natural ventilation
- Toxic free materials
- improved comfort through high performance fabric



Adaptability & Resilience:

- address future climate change impacts, including flood risks



SECTION C

SITE DESIGN GUIDE

1.0 SITE DEVELOPMENT AREAS

1.1 INTRODUCTION

This section of the document sets out the core development opportunities and the key design principles that should be considered in developing proposals for individual sites. The development opportunities are focussed within five different zones of the campus, each with its own set of unique opportunities and challenges that must inform the design proposals for new buildings and public realm. The case studies explore the most significant opportunity sites but does not detract potential for future development in remaining areas.

As well as setting out the key design principles that should be followed, a case study option is provided for each development site indicating how the principles could be applied. Opportunities for the retrofit of existing buildings are also considered.

1.2 DEVELOPMENT AREAS

CANALSIDE

The existing student residences that lie alongside the canal are unsuitable for conversion to academic use and no longer meet the standards required for student accommodation. The buildings, designed by MJP Architects contain some of the flourishes and features typical of their better known work from that time in Oxford, Cambridge and London's docklands. However, the buildings' relationship to the canal is diminished by a continuous blank wall running along the back edge of the canalside path, and taken together, the site these buildings occupy offers one of the main opportunities for providing new academic accommodation while strengthening the campus' relationship to the canal.

The new academic buildings will be highly visible from Mile End Park and should be of a quality fitting for this prominent location. New development must also preserve or where appropriate enhance the setting of the conservation areas and improve public access to the canal, while respecting or

enhancing other heritage assets such as the Lock Keeper's Cottage, an undesignated heritage asset; and 357 Mile End Road, a locally-listed building.

CIVIC HEART

The Civic Heart is defined by some of the University's most treasured heritage assets and most recognisable landmarks, including the Queens' Building and the People's Palace. There are opportunities to re-energise these buildings and put them to better use as assets for students and the local community.

There is also an opportunity to replace the existing Student Union Hub with a new building that matches the architectural ambition of the historic civic architecture, providing a 21st Century landmark for the institution at this central gateway to the campus.

HOSPITAL BOUNDARY

The Hospital Boundary site is currently underutilised, containing a mix of temporary structures, an energy centre and the Geography building. These form an awkward amalgamation of buildings and extensions from various eras. Taken together this provides a development site that is suitable for the provision of high quality academic space. Any development would need to ensure it is a good neighbour and would not neutralise future non-residential institutional development opportunities on the hospital site or opportunities for better place-making and pedestrian connectivity between the two existing university and health based campuses.

The existing boundary of the hospital is currently marked by a continuous wall which severely limits the permeability of the surrounding area and presents a barrier to movement for local people, hospital workers and university students alike. Any new development could consider how to improve this boundary and facilitate connections between the two sites, if appropriate.

WEST QUARTER

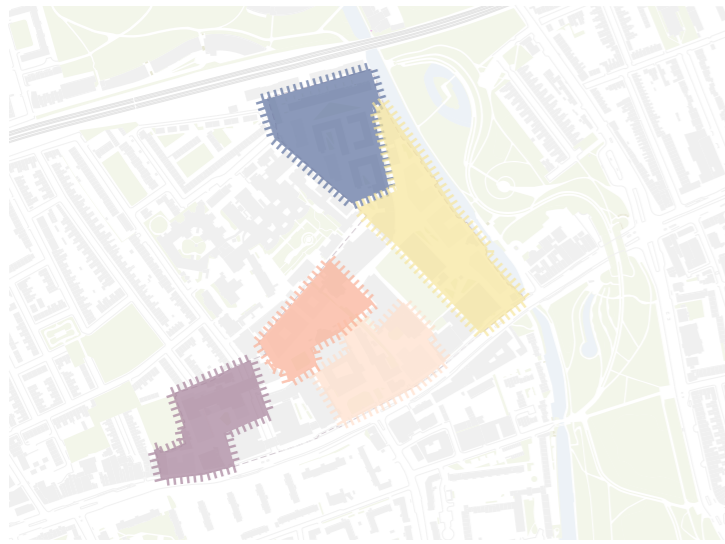
The West Quarter has a more granular scale than much of the campus, and therefore, the development opportunities are formed of infill extensions to existing buildings and replacement of poor quality existing buildings.

New development will need to respect the scale of surrounding buildings and the setting of heritage assets including Albert Stern House and the Jewish Cemetery. Enhancements to the public spaces and routes into the campus from Mile End Road will also encourage local residents to explore the campus spaces and heritage.






The development site fronts Bancroft Road, which would benefit from more ground floor activity. The existing buildings are occupied by the School of Engineering, which presents an opportunity to showcase activities within and increase public engagement with the functions of the institution. Enhancements to the public spaces and routes into the campus from Mile End Road will also encourage local residents to explore the campus spaces and heritage.









RESIDENTIAL QUARTER

Sited to the north of the main academic core of the campus is the Residential Quarter comprised of a series of existing residences ranging from four to nine storeys in height. The western edge of this zone contains staff parking accessed from Longnor Road. A significant reduction to this parking provision would unlock development sites along the hospital boundary. These sites would be well suited to providing additional student bed spaces while strengthening the quality of the existing public realm and amenity. It is not envisaged student accommodation would represent development of civic or visual significance for justifying a defined tall building for the purpose of Part 3 of Policy D.DH.6.

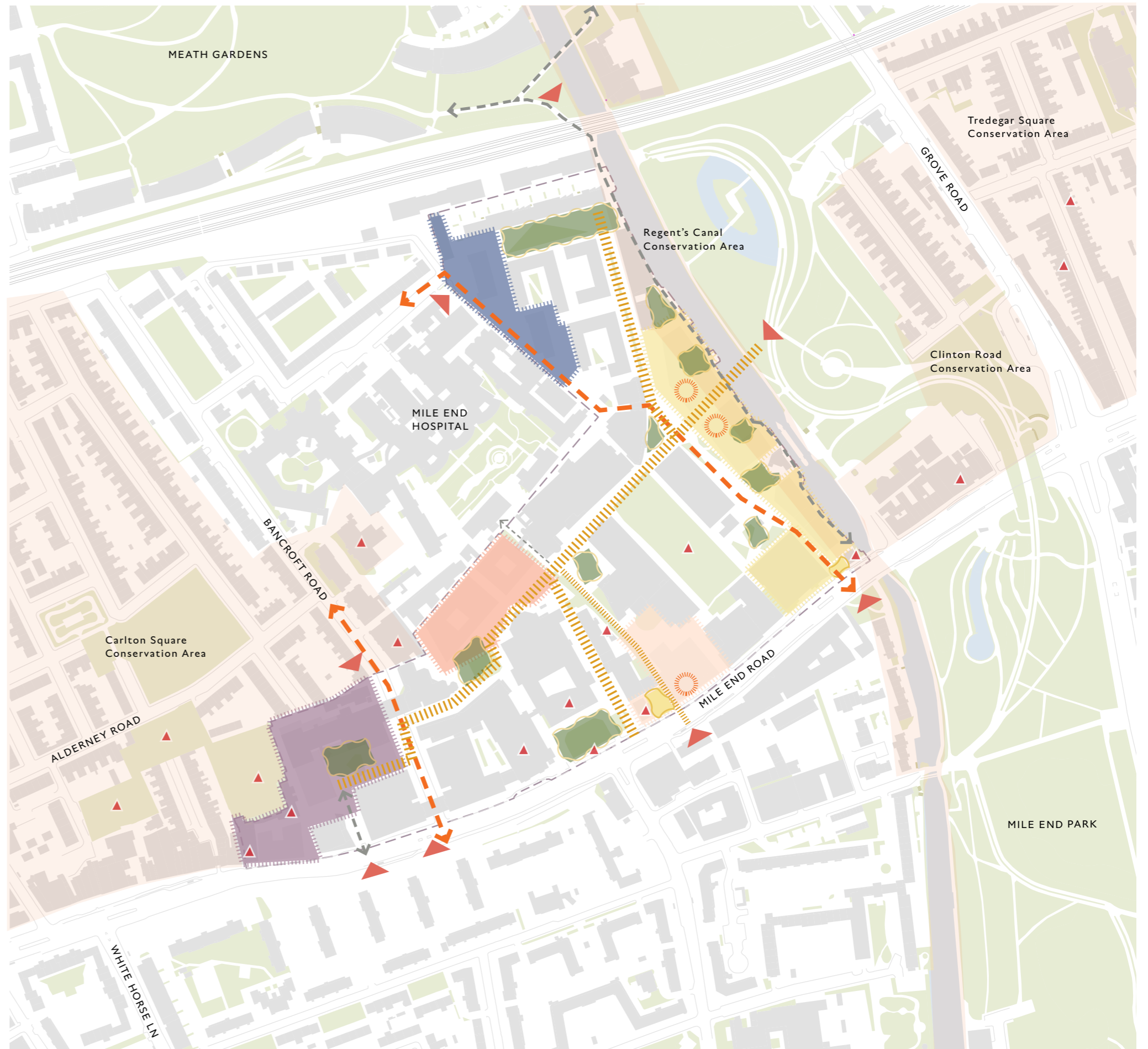


The plan above indicates the location of potential site development areas on the campus. Note that these are the sites with the most potential, however the omission of specific sites from this section would not preclude development coming forward on those sites in the future

-  Residential Quarter
-  Canal Edge Site
-  Civic Heart
-  Hospital Boundary
-  West Quarter

-  Key route through campus
-  Pedestrian routes
-  Key vehicle routes
-  Public space and biodiversity opportunities
-  Potential for building height
-  Heritage asset
-  Conservation area
-  Gateway opportunity

The plan to the right indicates potential development sites that will be reviewed in more detail through case studies in this chapter.



1.3 HOW TO READ AND APPLY CASE STUDIES

The case studies presented for each site have been developed as part of the campus-wide masterplan, taking into account the SPD vision and various development principles that are specific to each area. Nonetheless, the massing sketches shown within this are intended only to illustrate an option of how the development principles might be applied to each site in order to achieve high quality development and a successful public realm.

Design principles outline important aspects that should be considered and taken into account when developing new proposals.

Map indicates design principles in a plan view and illustrates potential development areas, these are indicative areas and do not denote an exact footprint.

Case study illustrates one of many approaches of layout and massing iteration that meets the design principles. This should be read as illustrative and conceptual sketch design.

Precedent images to demonstrate successful examples and approach incorporating similar design principles

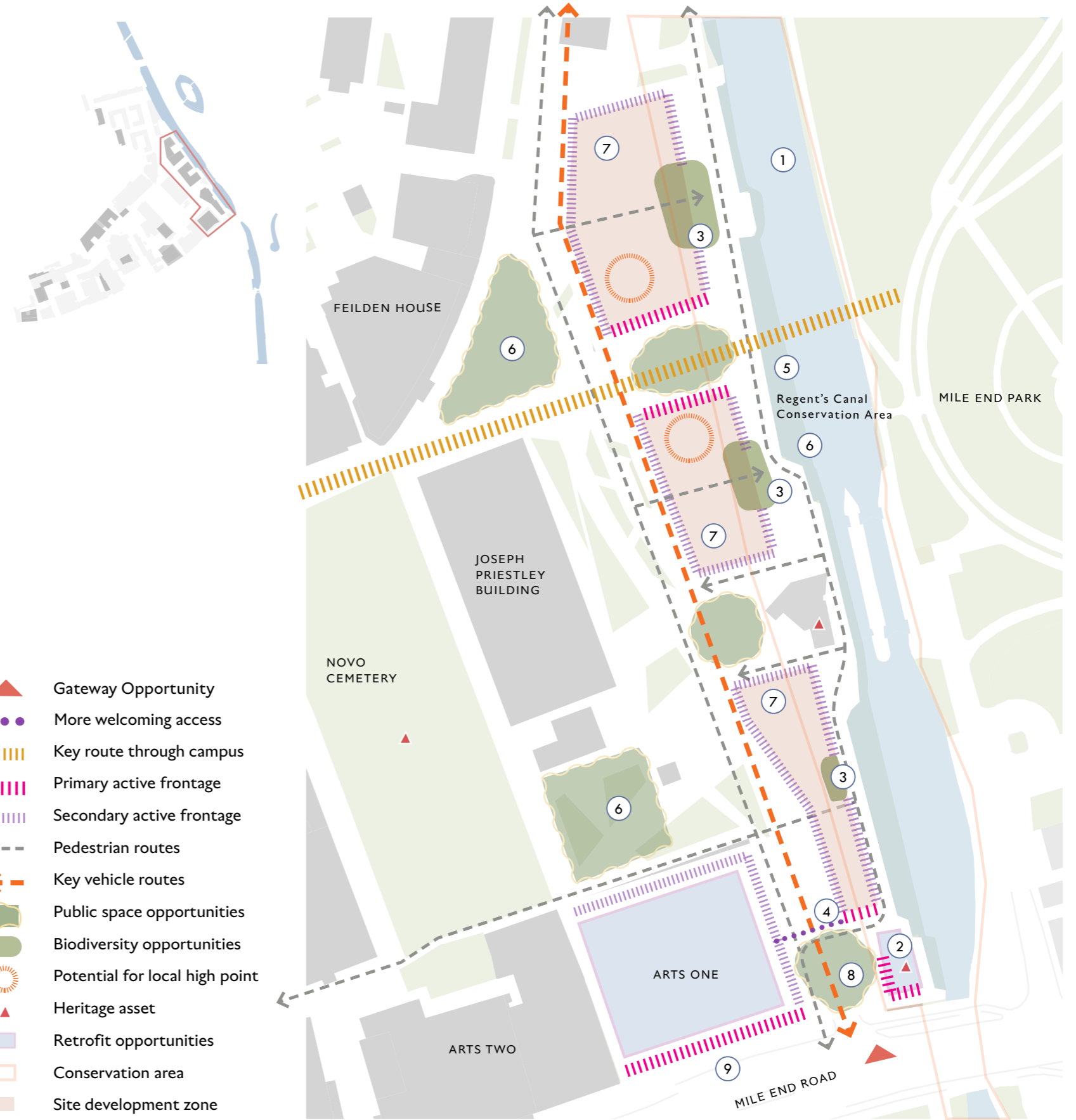
The image shows a multi-page document layout. On the left, page 84 is titled '3.0. CIVIC HEART' and contains '3.1 DESIGN PRINCIPLES' with a list of 10 numbered points. Below the text is a photograph of a public square. In the center, a site map shows 'ZONE 6' with various colored overlays and a legend. On the right, page 85 is titled '3.2 CASE STUDY' and includes text, a site map, and several architectural sketches. At the bottom of the case study page are 'Precedent Images' showing various building styles. Dashed blue arrows point from the text blocks above to specific elements on the pages.

Illustrative eye level sketches demonstrate an approach of massing datums and set backs to respect existing built environment, Conservation Area and heritage assets

2.0 CANALSIDE

2.1 DESIGN PRINCIPLES

1. Respond positively to the special character of the Regent's Canal Conservation Area and nearby Clinton Road Conservation Area, and their setting; as well as the scale, height, massing and grain of the surrounding built environment.
2. Retain, reuse, enhance and integrate the existing heritage assets, including proposals for the reuse of 357 Mile End Road where possible.
3. Provide active frontage set back from the canal, and positively frame the East-West axis route through the centre of the campus. Introduce setbacks and a scale to the set of open space along the canal's edge that are commensurate in scale and generosity to the scale of any building proposed to face the canal side, alongside good articulation. This is to help ensure the creation of attractive and useable waterside public spaces, open to the sky, that benefit from good access to direct sunlight throughout the day and avoiding an overbearing form of development to the canal or any undue sense of enclosure. Increased building heights combined with an extended length of development along a building line is liable to increase the degree of enclosure, accordingly striking the necessary balance between height and scale of open space will be important.
4. Improve walking and cycling connections to, from and within the site and ensure security infrastructure is discreetly incorporated within the landscape and public realm.
5. Integrate development into the green grid network, including opening up access to the canal towpath to Mile End Road and Meath Gardens, allowing for a potential new bridge connection to Mile End Park (subject to agreement with stakeholders).
6. New canal side development should enhance the natural as well as the built environment with improvements to the biodiversity and ecology of the public spaces and the canal edge.
7. Introduce variation in height, create generous open permeable East/West space between new canal side buildings and avoid a visual sense of a continuous wall of development as one walks along the canals edge or face the campus from the park. New development in both the Residential and Canalside areas should contribute positively to views out from Mile End Park and preserve or enhance the significance of the Regents Canal conservation Area and be aware of the significance attached to the Conservation Area and individual heritage assets derived from setting. Set the proposal back and break the massing of it to avoid excessive overshadowing of the Canal and its public space. (Policy D.DH8)
8. Any moment of additional building height set along the canalside and away from Mile End Road should be strategically located and proportionate to its contribution towards legibility, for example, marking the East-West axis route through the campus; a new footbridge across to Mile End Park; or set in front of a new generous canalside pocket park that significantly expands the opens space set behind the canal towpath. Any such building must be of exceptional architectural and townscape quality; and not appear overly-dominant within the sensitive canalside environment.
9. Improve the public realm with active site edges, specifically along Mile End Road and Westfield Way.
10. Massing, datums and proximity of new developments should positively respond to existing heritage assets, specifically the locally listed 357 Mile End Road and the Lock Keeper's Cottage, respecting their scale and avoiding overbearing size developments.

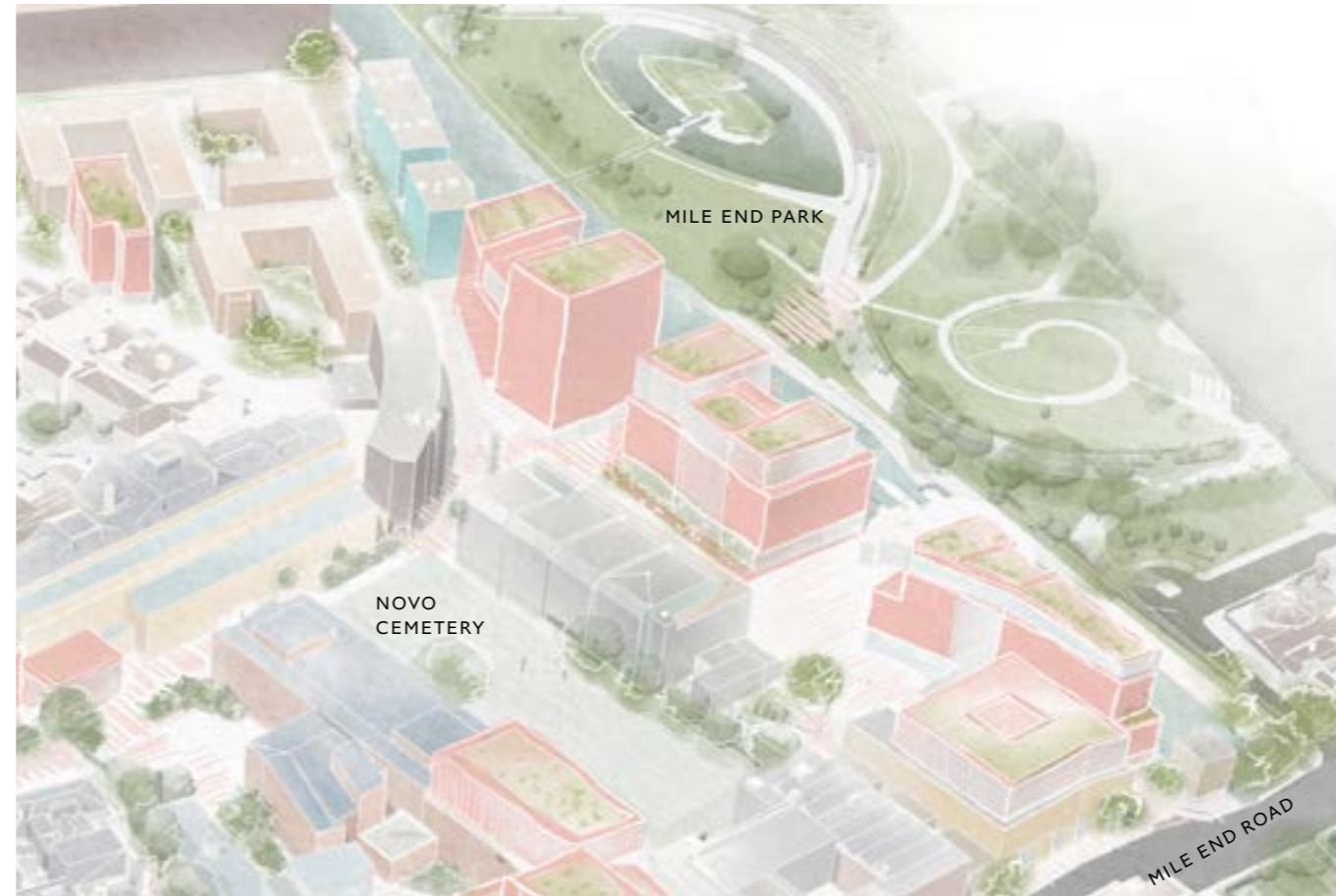


2.2 CASE STUDY

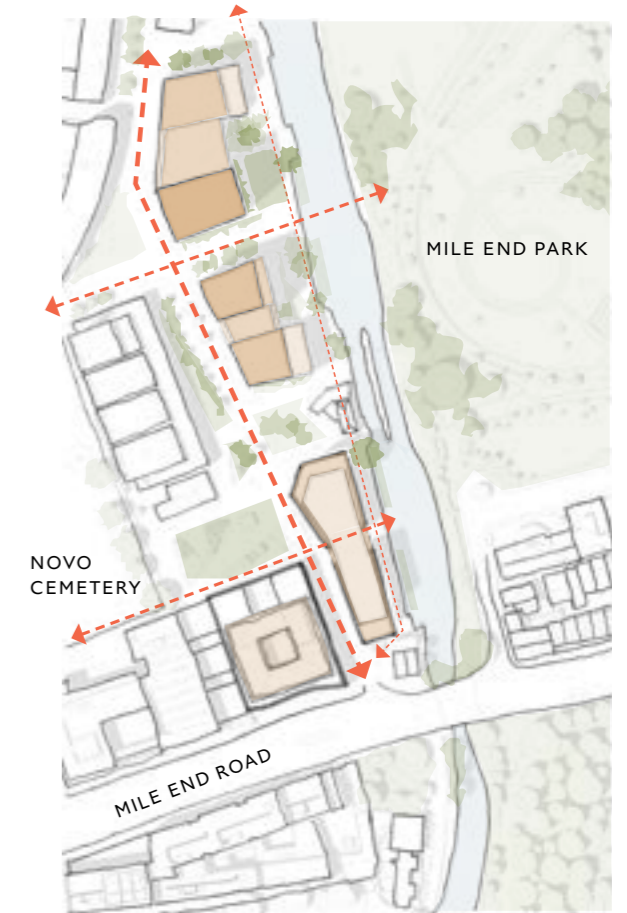
In this case study, buildings step up in scale from Mile End Road to a local high point marking the East-West axis route through the campus and a potential new bridge to Mile End Park.

A new consistently generous open canal edge will enable people to sit, linger and relax whilst others move comfortably along the canalside path. Sufficient space is reserved to land the new bridge as well as other more generous, landscaped spaces defined by the buildings and the canal edge.

The buildings and public spaces are arranged to improve the connections between the campus and the water's edge.



Aerial view of the Canaside site



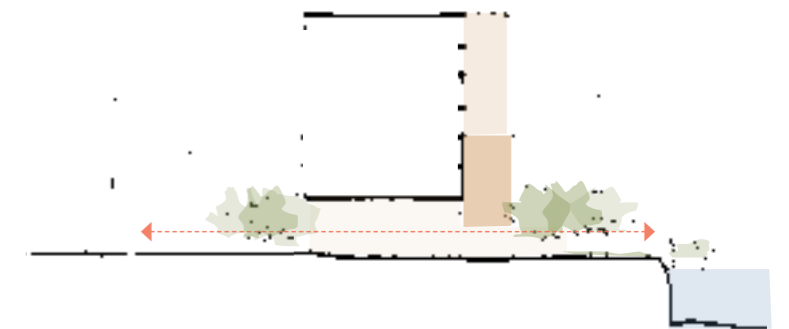
Plan view of the Canaside site



Precedent image: Naturalised water's edge with enhanced biodiversity

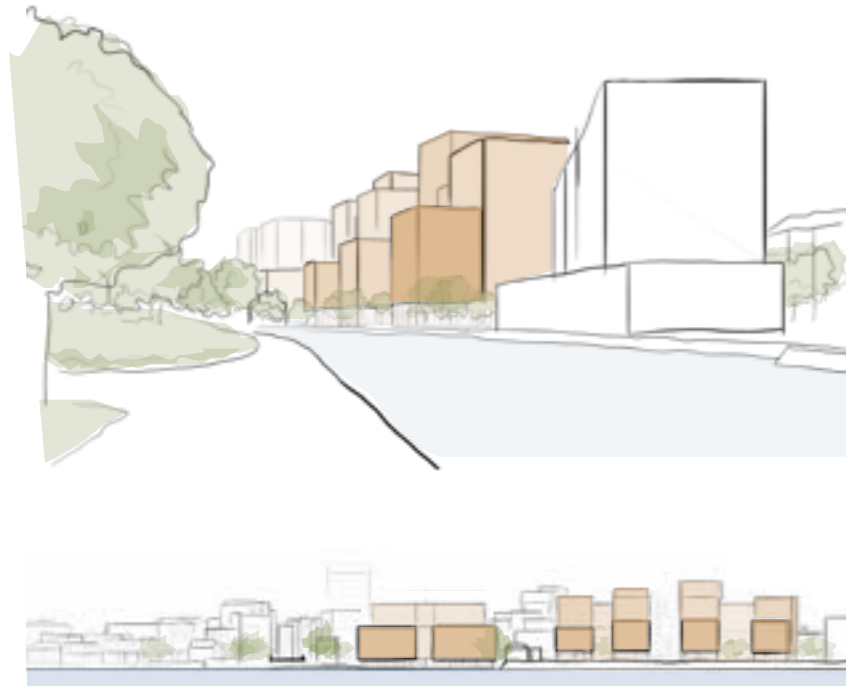


Precedent images: Along the canal buildings could relate to the park setting with external terraces, setbacks and loggias



Illustrative section showing the relationship between the canal edge; and built massing framing public spaces along the water's edge and offering active frontages to the canalside

2.3 FORM, MASSING & CHARACTER



Above top: View down the Regent's Canal towpath looking south

Above bottom: Illustrative Canal elevation sketch showing how setbacks and height variation can bring interest to the canal edge

The Regent's Canal Conservation Area overlaps the Canalside development sites and will be a key factor in defining the character for new buildings. Materials should take cues from the rich heritage of the Regent's Canal, such as the various examples of robust brick warehouses and industrial features lining the waterfront. The design response should also respond to the setting of the nearby Mile End Park, incorporating landscape features, raised terraces and framed views, as well as the setting of the nearby Clinton Road Conservation Area to the east.

Consideration must be given to the arrangement of building massing along the canal edge in order to create interest and variation. The building line should be fragmented when viewed from the towpath and Mile End Park allowing the buildings to be framed and softened by landscaping and trees.

In contrast to the setbacks and varied massing fronting the canal, the building edges fronting Westfield Way should be more continuous, reinforcing the character and definition of this street through the campus.

The replacement of existing student residences, which have very little ground floor activity, with new academic buildings, presents an opportunity for significantly enhanced activity along Westfield Way and to the public spaces created along the canal. Ground floor uses should be carefully selected to maximise opportunities for active frontages, while entrances should be generous and located on key public spaces.

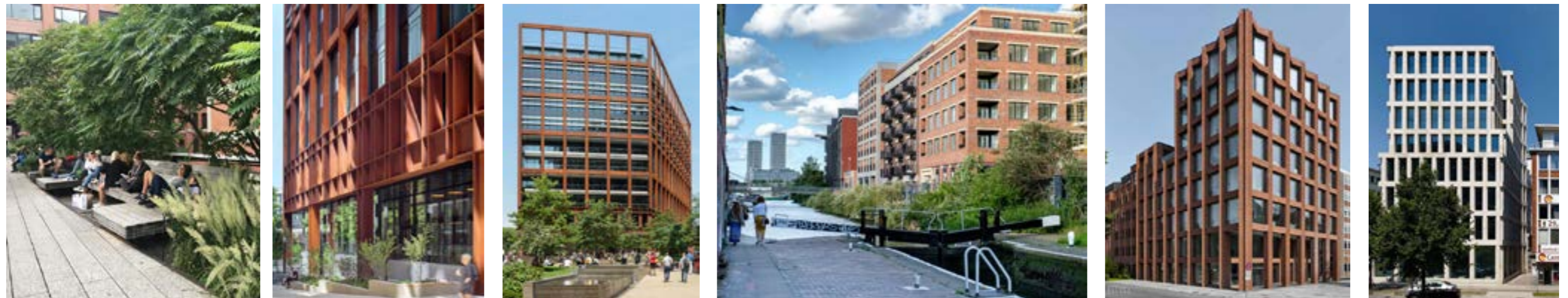
If the existing canalside student accommodation is to be replaced by new buildings of greater height, then this should be matched by more generous building set back from the canal edge, thus helping to prevent new buildings from dominating the canal edge, and enhancing the enjoyment of the canalside area by the university community and others.

The Lock Keeper's Cottage is an undesignated heritage asset within Regent's Canal Conservation Area and should be carefully considered when introducing new developments. The proposed buildings should respect its scale and avoid creating overbearing massing in close proximity.

When looking into this development area in detail for future proposals Open space and green grid network and Water spaces policies must be taken into account (D.OWS3 and D.OWS4). Building massing must be broken down and set back from the canal in order to avoid extensive overshadowing of the public realm.



View down the Regent's Canal towpath looking north towards the Lock Keeper's Cottage



Precedent images: Robust materials and gridded facades recall the industrial character of the Regent's Canal Conservation Area, ground floor level opening to the canal with active frontages spilling into the public realm

2.4 EASTERN GATEWAY

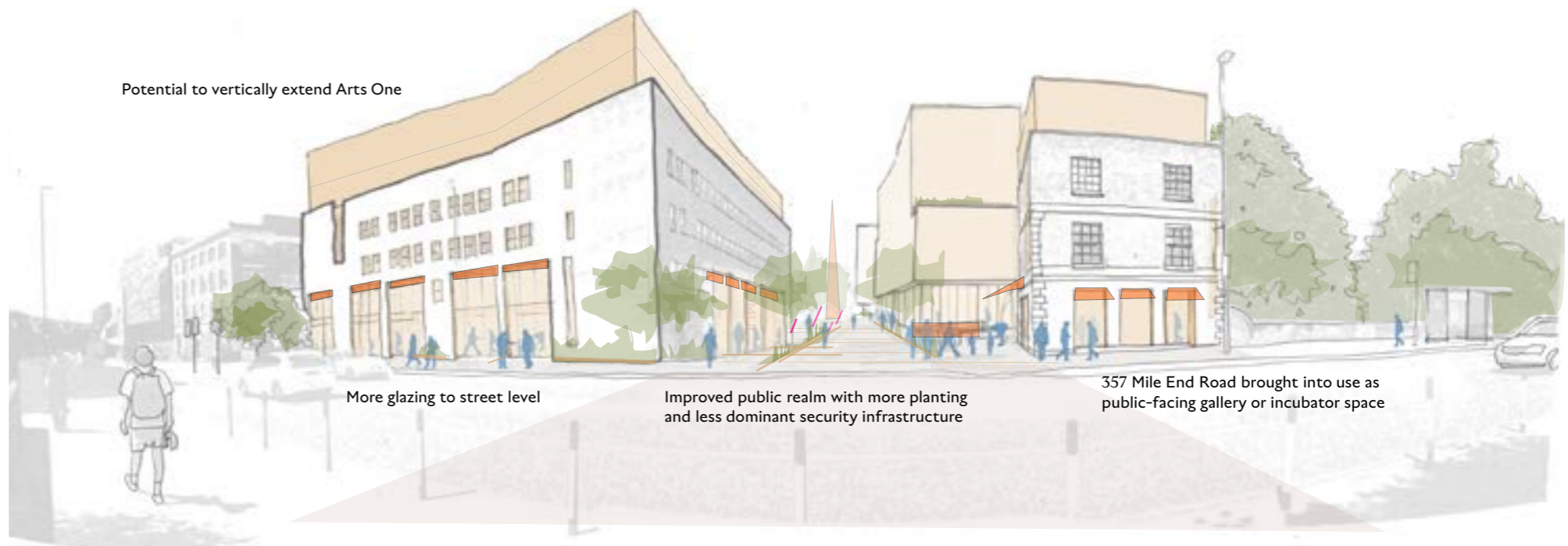
The south-east corner of the site provides an important gateway onto the campus for pedestrians arriving from Mile End Station and from the east. Proposals for this corner must present a welcoming arrival point for visitors to the campus, while responding positively to the existing built heritage and the unique context of the Regent's Canal conservation area.

Arts One - Adaptive Reuse

The existing Arts One building is a robust building housing functional academic space. However, for a building on an important gateway to the campus it lacks ground floor activity. Buildings such as this could be enhanced through adaptive refurbishment to deliver fabric enhancements, reduced energy use, improved relationship to the public realm and an expansion in usable floorspace.

357 Mile End Road

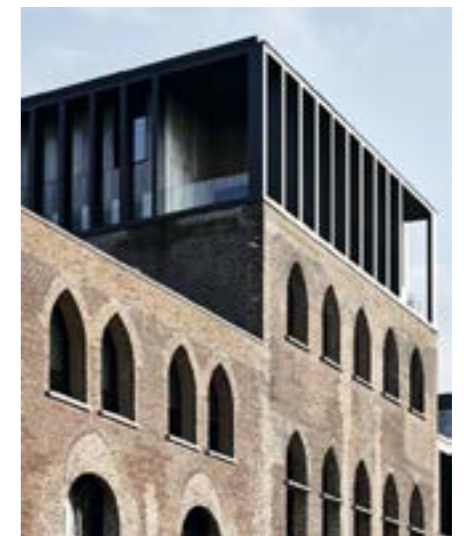
The SPD would encourage imaginative ideas for repurposing the locally listed 357 Mile End Road, while also respecting and incorporating its special architectural features. Heritage-led refurbishment could be combined with a confident architectural vision and public-facing uses befitting this important site.



Above: Illustrative view representing opportunities for the main eastern gateway to the campus from Mile End Road. This highlights opportunities to introduce animation at ground floor level and create a more inviting and green public realm.



Right: Existing street view of the entrance to the campus from this location.



Existing ground floor spaces along Mile End Road could be animated through introducing active frontages and public-facing uses while respecting the character of the existing buildings.

Vertical extensions could help give existing buildings new life while improving their efficiency. Old and new can work together to form architecturally vibrant juxtapositions.

2.5 CANALSIDE COMMUNITY BENEFITS

The existing canal edge adjacent to the campus currently offers poor accessibility to local residents. By setting new development back from the canal edge, a more spacious and better-quality public realm can be created for the public to enjoy.

New development must be balanced with an increased level of public access to the canal from the north and south with steps to Mile End Road and the new connection under the railway.

A potential bridge connection to Mile End Park would also help to connect new campus and canalside walking and cycling routes to the wider network; subject to further testing on environmental, heritage and security implications and stakeholder consultation. The proximity and implications on Mile End Lock must be considered when proposing a bridge. These new connections must be carefully designed to consider issues around night-time safety, anti-social behaviour and environmental implications such as extensive overshadowing of the canal edge. Appropriate mitigation should be considered and incorporated within the design at the earliest stages, a comprehensive approach involving multi-agency operational resources, CCTV, good lighting is necessary to prevent anti-social behaviour. Appropriate access control should be ensured for the bridge leading to Mile End Park.

Strengthening the biodiversity and range of habitats along the canalside will improve the richness and quality of the natural environment, while also connecting with the biosphere of Mile End Park on the opposite side of the canal.

Open space improvements could also be realised within Mile End Park itself through targeting S106 payments made available as part of the canalside development. This could help to fund enhancements to biodiversity and community infrastructure within the park and ensure that there are public benefits realised on both sides of the canal.

The Canalside area offers one of the key opportunities within the Mile End Campus to deliver additional academic space. It is also important that consideration is given to how the academic programme can support community education through outreach and other initiatives.

New space could be made available within new buildings for community use and access. This would encourage greater engagement and connection with local residents and businesses; and could animate ground floor spaces along Westfield Way and the canal.



Illustrative eye level view of canal side public space with frontages of academic buildings activating the public realm



An enhanced and coherent canalside public realm stretching from Mile End Road in the south to Meath Gardens in the north



Community spaces and education opportunities

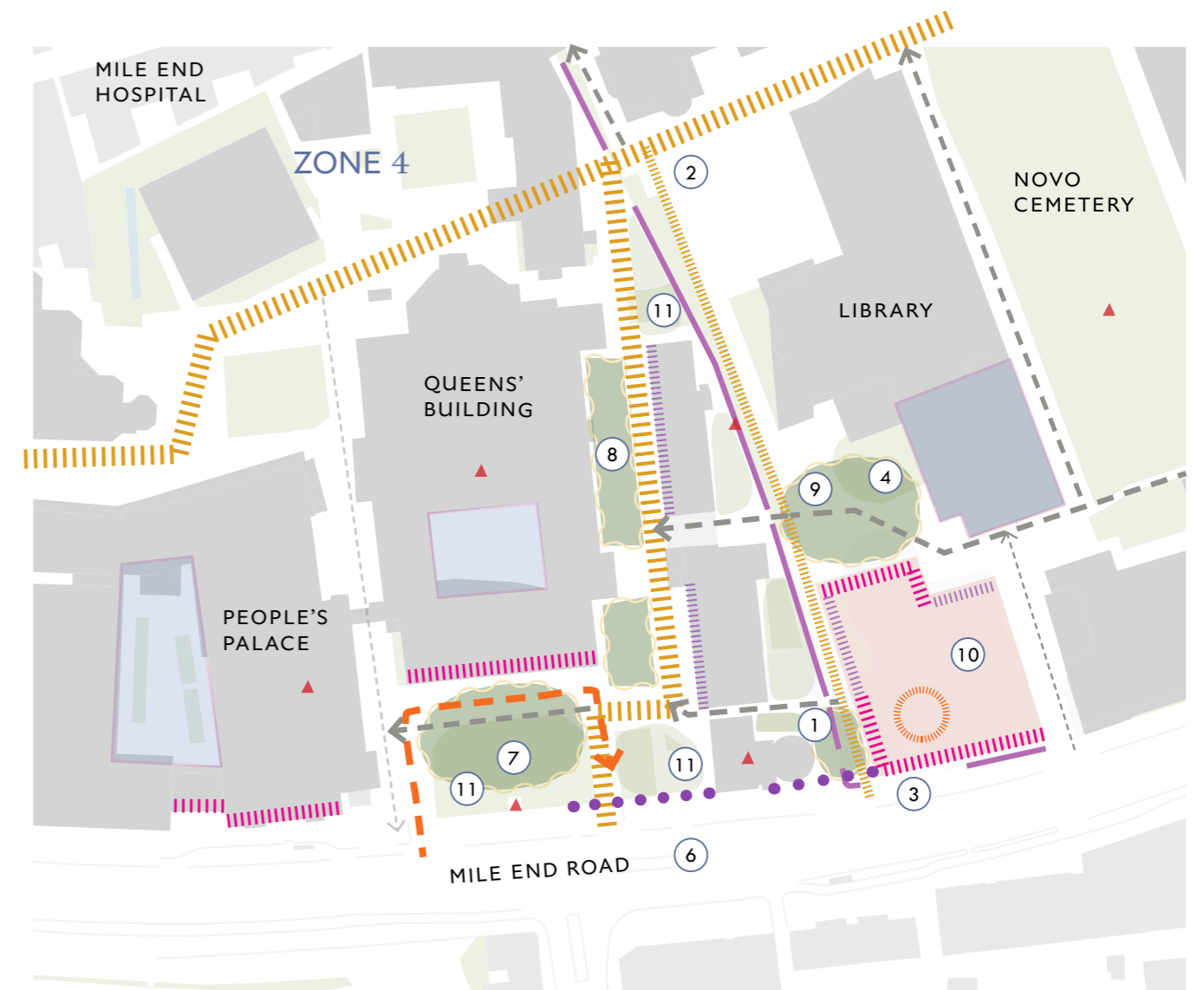
3.0. CIVIC HEART

3.1 DESIGN PRINCIPLES

1. Create a positive setting for heritage assets, including the listed St Benet's Chapel.
2. Strengthen connections to the surrounding area, including the Mile End Hospital site and Bancroft Road, subject to agreement with stakeholders and improve pedestrian connections across campus.
3. Provide active frontages to Mile End Road and a more welcoming presence of the campus.
4. Engage positively with the Library square.
5. Consider impact on townscape, including views along Mile End Road.
6. Consider existing datum of Mile End Road elevation and height of existing heritage assets. Any proposed new tall building should not intrude upon key local views of Queens' Building, new People's Building or other local designated heritage assets.
7. Improve and strengthen the public space in front of the Queens' Building and improve community access.
8. Reduce vehicle traffic around main pedestrian routes on the campus.
9. Positively incorporate the listed cemetery wall in the design of new buildings and public realm, introduce new pedestrian links through the wall.
10. The new building on Mile End Road must be of exceptional architectural quality becoming a recognisable and appreciated local landmark.
11. Improve existing biodiversity.



The lawns fronting Mile End should be strengthened as a civic space for university and community events



- ● ● More welcoming access
- — — Key route through campus
- ||||| Primary active frontage
- ||||| Secondary active frontage
- ← ← ← Pedestrian routes
- ← ← ← Key vehicle routes
- ■ ■ Public space opportunities
- ■ ■ Biodiversity opportunities
- ☀ Potential for local high point
- ▲ Heritage asset
- Retrofit opportunities
- Site development zone
- Listed Wall

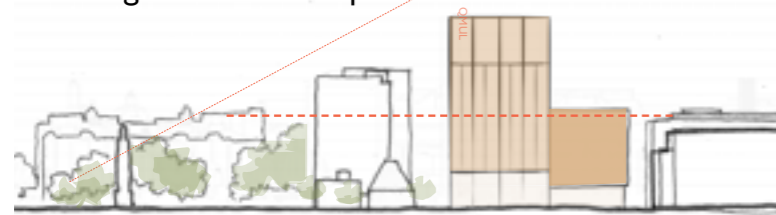


3.2 CASE STUDY

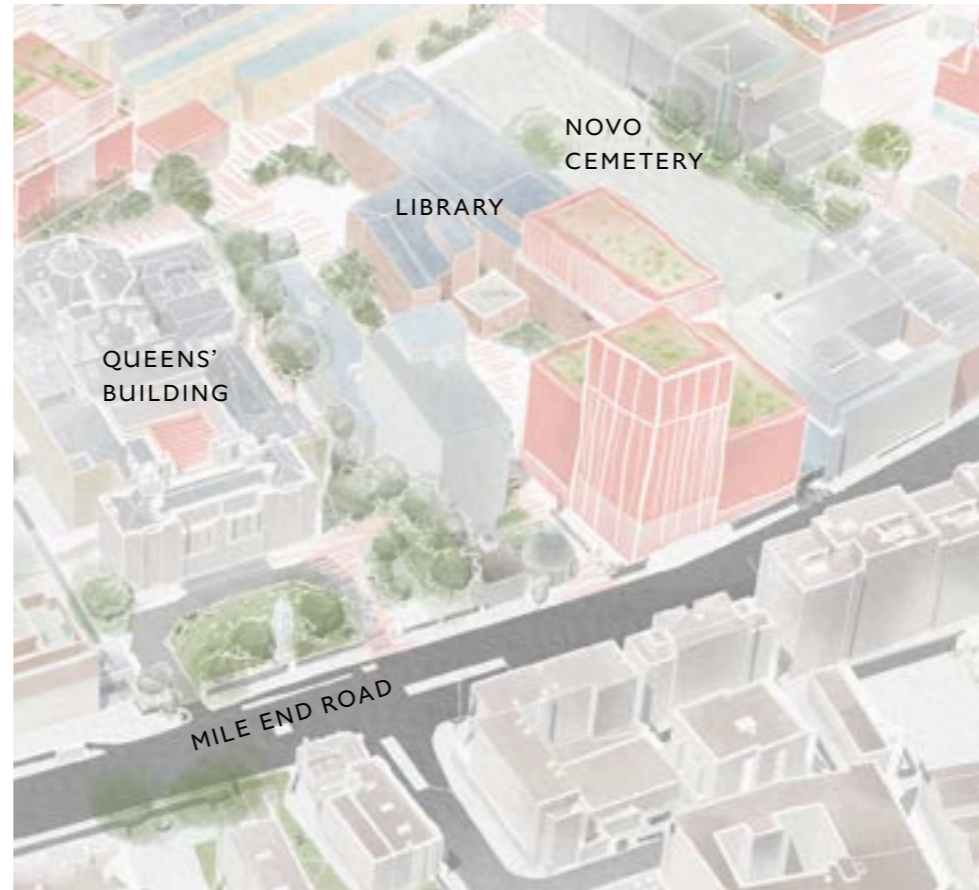
In this case study, a new building on Mile End Road has potential to form a local landmark whilst also marking the central gateway entrance to the campus. The design has incorporated appropriate setbacks, articulation and top crown of to address the street line. This would be a building of exceptional architectural quality.

The new building provides an active double-height frontage to Mile End Road and to an expanded library square to the rear of the site, which in turn has enhanced public access via a new North-South pedestrian route.

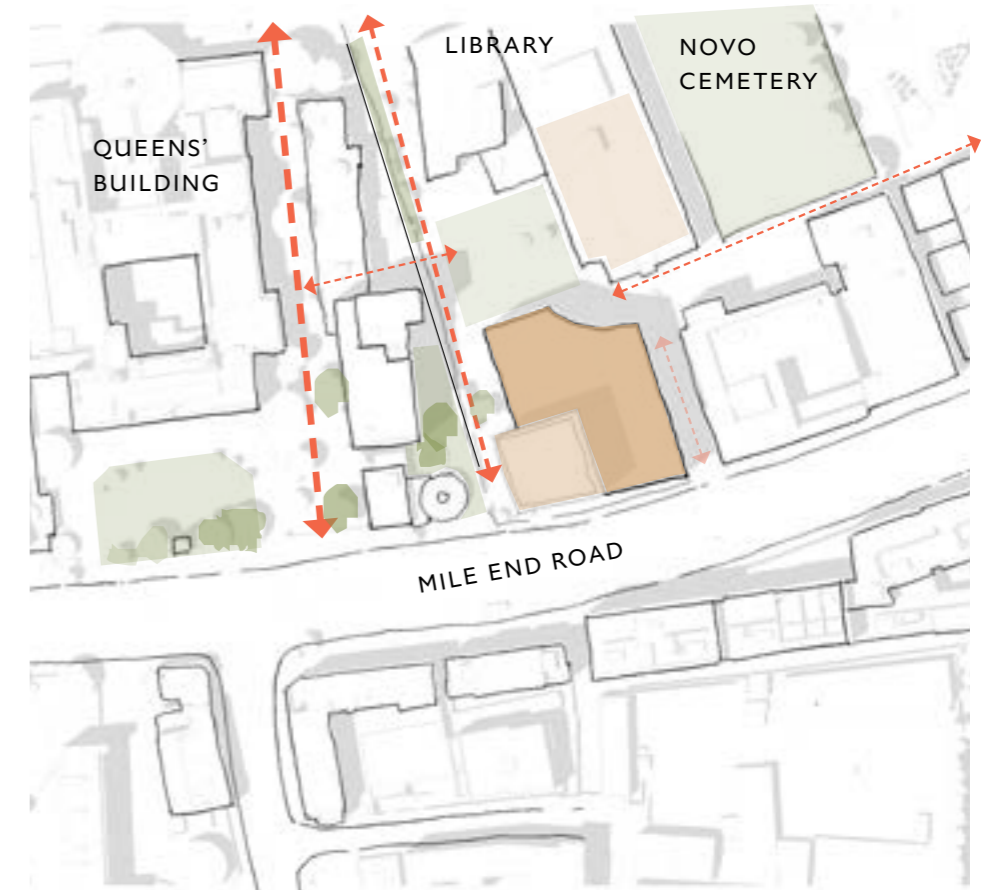
The listed cemetery wall would be successfully integrated with the public realm creating a positive setting to the streetscape and existing heritage assets, including St Benet's Chapel.



Illustrative Mile End Road Elevation



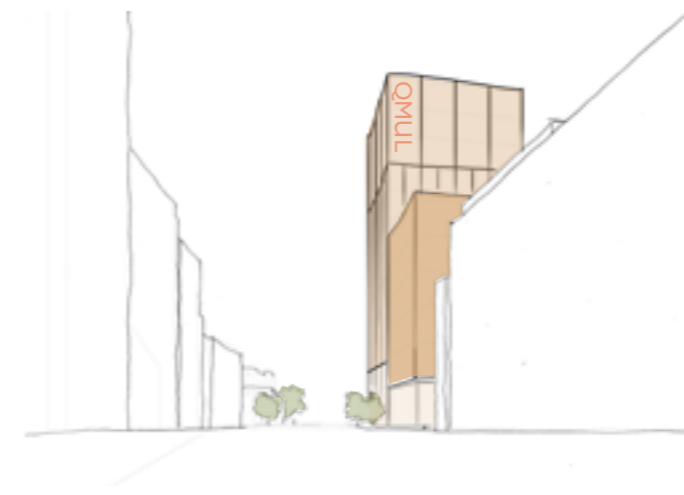
Aerial view of the Mile End Road Site



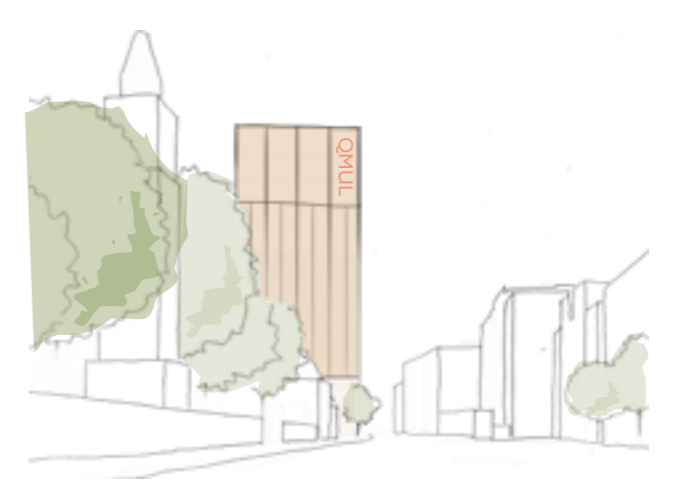
Plan view of the Mile End Road Site



Precedent images: A distinctive and recognisable building along Mile End Road of architectural merit and incorporating public-facing facilities



Illustrative view down Mile End Road looking west



Illustrative view down Mile End Road looking east

3.3 COMMUNITY BENEFITS

The cluster of civic buildings at the heart of the campus, fronting Mile End Road, serve as the front door to the institution and therefore offer great potential as a place to welcome the public.

The People's Palace was established to provide cultural activities to the people of east London. Support would be given to initiatives that seek to strengthen the original role of this building and to allow the public to access the space through open days, public lectures and cultural programmes that are advertised locally.

The Queen's Building is the main architectural focal point for the campus, but is underused as a student and public facing asset, being used primarily for administrative functions. There are plans to relocate these admin functions to another location which presents an opportunity to re-establish the civic presence and public-facing function of the building.

The small formal square in front of the Queen's Building provides some relief from the bustling Mile End Road. Reducing the emphasis on vehicles and parking to this part of the campus would allow an expansion of a pedestrian friendly public space and encourage greater access into the heart of the campus. This public space is already the focus for community and academic events, and therefore, reinforcing this through enhanced public realm would be encouraged.

New development along Mile End Road could be used to unlock further investment in improving the setting of the Novo Cemetery and the surrounding public realm. It should also provide a new north-south route to Mile End Road along the line of the listed wall. Opportunities to create a more animated frontage onto Mile End Road will need to ensure the preservation of the listed wall.



Precedent image: Courtyard infills would create generous all-weather spaces for student and public activities



The refurbished interior of the People's Palace



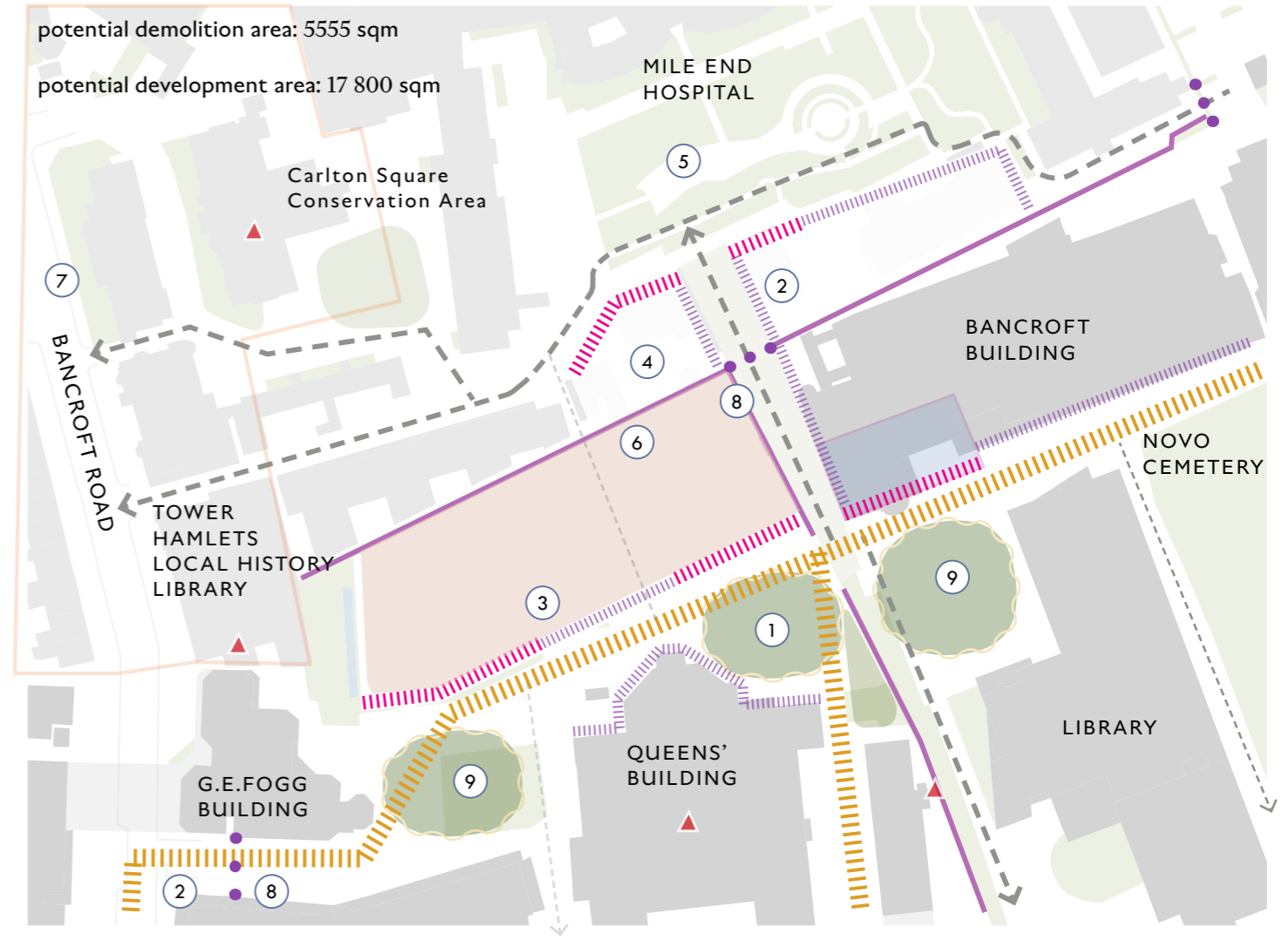
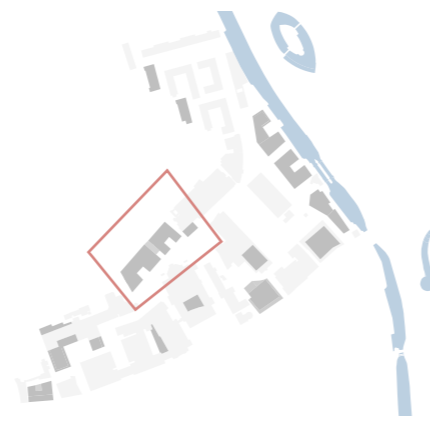
Precedent images: public realm improvement ideas that could be applied along Mile End Road and alongside within the Queen's Building setting

4.0 HOSPITAL BOUNDARY

4.1 DESIGN PRINCIPLES

1. Create a positive setting for heritage assets, including the listed Queens' Building.
2. Strengthen connections to the surrounding area, including the Mile End Hospital site to the north, where appropriate, and Bancroft Road to the west.
3. Provide active frontages to the East-West axis route across the campus, as well as new public realm opportunities and public spaces along this route.
4. Engage positively with the hospital site to the north, demonstrating how new development on either side of the boundary could integrate with current buildings and new proposals.
5. Explore opportunities for more legible pedestrian links through the campus and a direct pedestrian connection between the university campus and the central green space on the hospital site while respecting the sensitivity of uses on the hospital site and their own operational needs.
6. Present a clear idea for the interaction between new buildings and the existing hospital boundary wall to avoid dead space; and set massing back from the wall to avoid creating a 'canyon' space.
7. Positively impact local townscape, taking into consideration views along Bancroft Road.
8. Ensure security infrastructure is discreetly incorporated within the landscape and public realm.
9. Provide a high-quality public realm along with biodiversity.

- ● ● More welcoming access
- ||||| Key route through campus
- ||||| Primary active frontage
- ||||| Secondary active frontage
- ← - - Pedestrian routes
- ← - - Key vehicle routes
- Public space opportunities
- Biodiversity opportunities
- ▲ Heritage asset
- Retrofit opportunities
- Conservation area
- Site development zone
- Wall



The setting of the Queens' Building will be enhanced by the removal of the Geography Building (the building to the right of the image)



Precedent image: Activity at ground floor and clearly defined entrance



Precedent image: Circulation atrium brings interest to the facade while allowing light into deep plan



Precedent image: Public spaces and landscaping integrated with building design

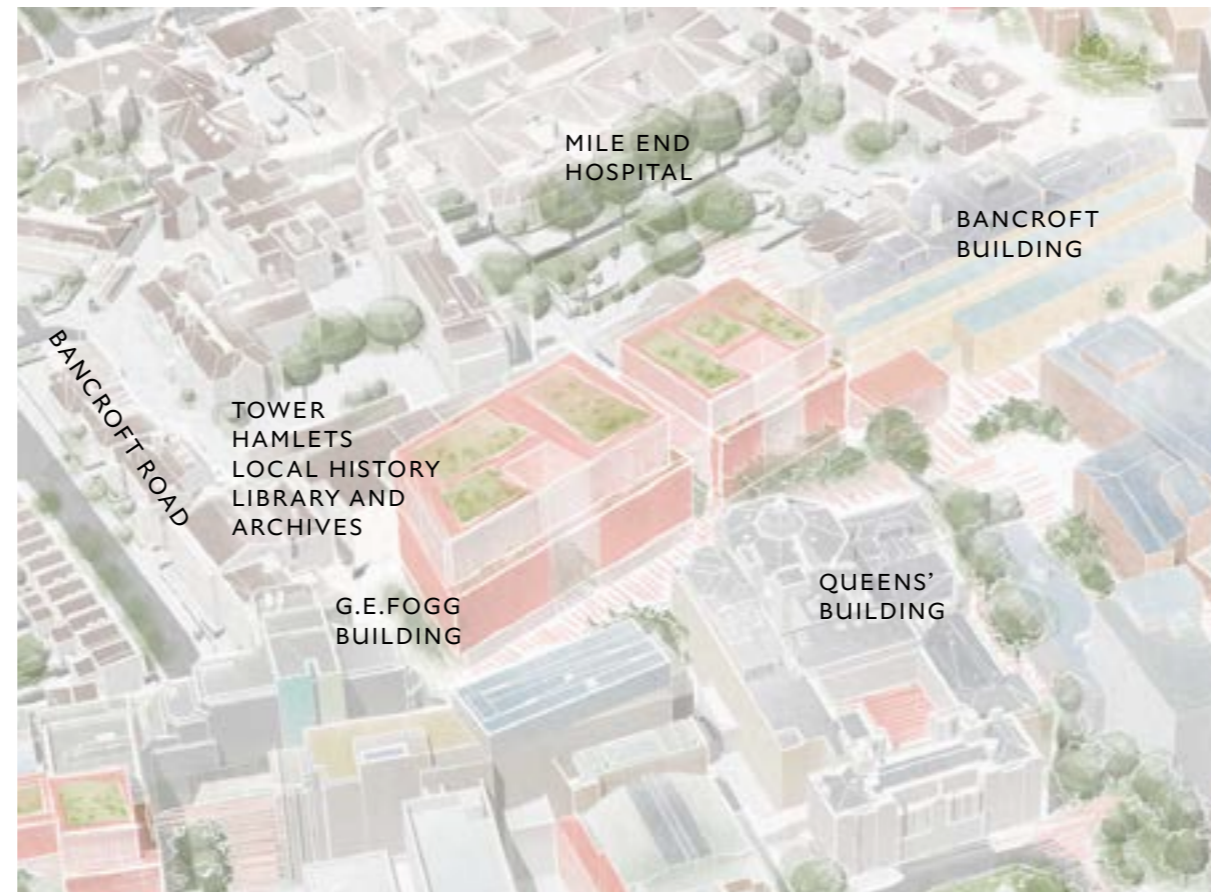


4.2 CASE STUDY

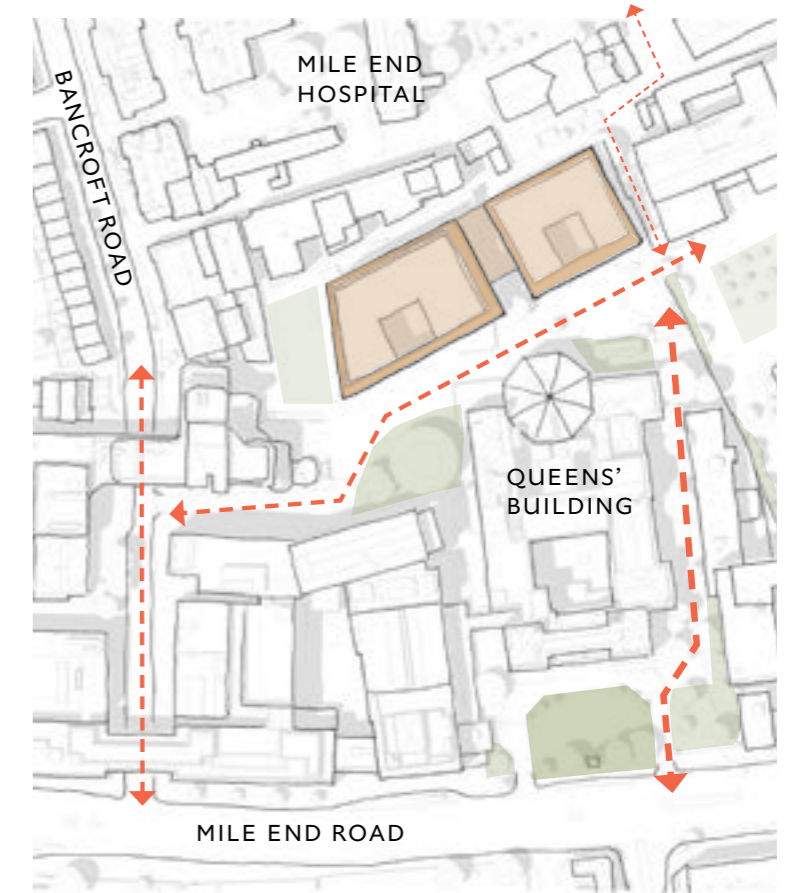
In this case study, the site is developed as two interlinked buildings of eight storeys, similar to the height of the recently completed Graduate Centre. Building set backs relate to the datums set by the Queens' Building.

The southern edge of both buildings are aligned to the Bancroft Building, creating a clear frontage onto the new East-West axis route through the campus. This removes an existing pinch point while also providing an enhanced setting for the Queens' Building, which is set within an improved public square.

Internal lightwells provide generous daylight to the centre of the plan, while also offering a covered winter garden space for year-round use.



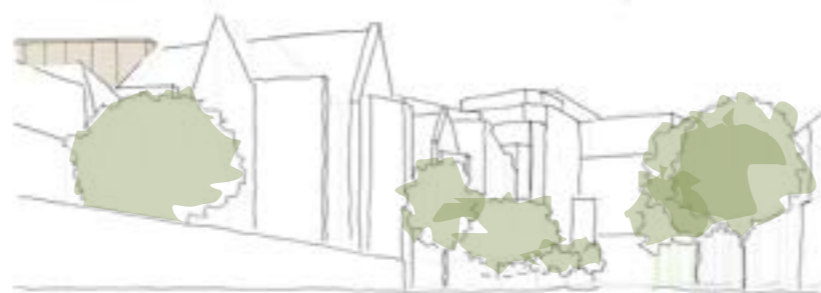
Aerial view of the Hospital Boundary site



Plan view of the Hospital Boundary site



Illustrative section through the boundary wall indicating a potential approach to integrating space into the building i.e. joining the university building and hospital building to the wall to create a double height indoor space



Illustrative view down Bancroft Road looking south



Illustrative view of an external courtyard space in front of the new buildings

4.2 COMMUNITY BENEFITS

This is another development area that offers potential for additional academic space. Consideration should be given to the provision of associated community spaces which can benefit from proximity to the facilities contained within.

A north-south public route in the form of a linear park or green route could be realised between Mile End Road and the hospital, which would significantly improve permeability and connections for the area. However, it is important that any new or enhanced connection to the hospital site is carefully considered in the context of the wellbeing of hospital patients.

The Local History Library & Archives lies just outside the Mile End Campus, and not in QMUL's ownership, but is a building of high architectural, heritage and community value. The building is in need of investment and there is potential for new development on the campus to contribute towards its restoration. This might include enhancement of its setting through the improvement of the Bancroft Road streetscape, surfaces and frontages leading to the Archive building.

The establishment of a heritage trail in the area would be an opportunity to weave in the people's history of life in this part of the East End. The Local History Library & Archives building could help define these narratives, and there is an opportunity for joint research between the university and local authority on such initiatives.



The public square at the heart of the Mile End Hospital site



Existing gate between the Mile End Hospital and university campus



Precedent images: the space between buildings should be considered as part of the architectural response, with opportunities to create covered outdoor spaces



Precedent image: Opportunity to create a north-south green route or linear park through the campus



The Tower Hamlets Local History Library and Archives on Bancroft Road

5.0 WEST QUARTER

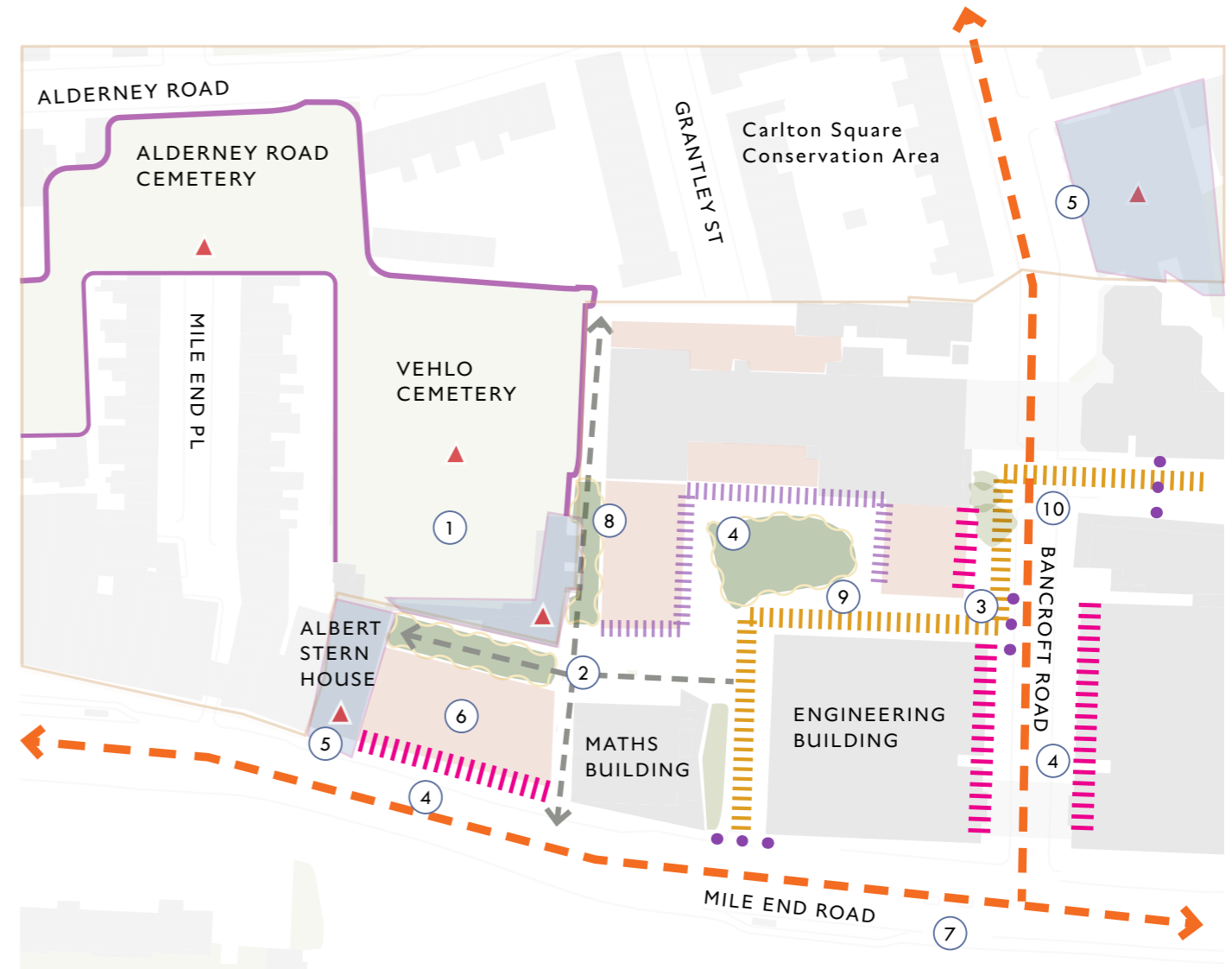
5.1 DESIGN PRINCIPLES

1. Create a positive setting for heritage assets, including Albert Stern House and the listed Albert Stern Cottages adjacent to Alderney Road Cemetery.
2. Integrate heritage assets into the public realm and enhance their accessibility to the local community.
3. Strengthen connections to the surrounding area and the remainder of the campus on the opposite side of Bancroft Road, completing the East-West axis route through the campus.
4. Introduce active frontages to Mile End Road, Bancroft Road and the public square.
5. Refurbish and improve the setting of Albert Stern House.
6. Improve the setting of heritage assets and respect the building line on Mile End Road, using setbacks and differentiation in massing to address the context.
7. Positively impact local townscape, taking into consideration views along Mile End Road.
8. Enhance the quality of the public realm, including the narrow spaces around surrounding the listed cottages and cemetery.
9. Improve the quality of existing landscaping by introducing enhanced biodiversity and greenery.
10. Improve quality of public realm on Bancroft Road, enhancing the pedestrian environment and legibility of public access to the Tower Hamlets Local History Library and Archives.

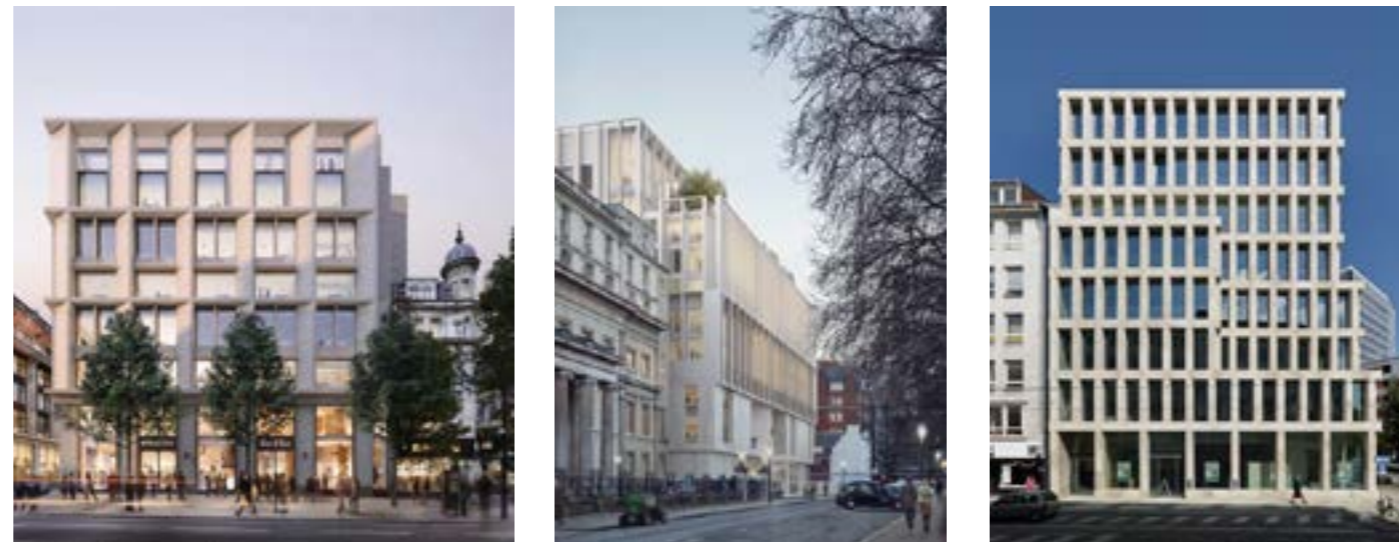
- More welcoming access
- ||||| Key route through campus
- ||||| Primary active frontage
- ||||| Secondary active frontage
- ←←← Pedestrian routes
- ←←← Key vehicle routes
- Public space opportunities
- Biodiversity opportunities
- ☀ Potential for local high point
- ▲ Heritage asset
- Retrofit opportunities
- Conservation area
- Site development zone
- Wall

potential demolition area: 142 BEDS + 1443 sqm

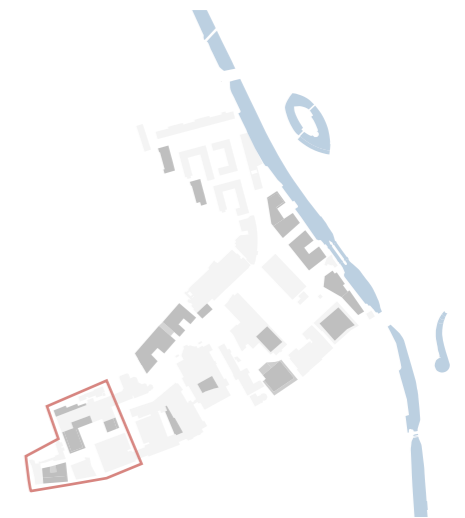
potential development area: 14 000 sqm



Existing facades fronting Mile End Road, Albert Stern House (left) and the Engineering Building (right)



Precedent images: Buildings fronting Mile End Road should respond to the urban street character; have animation to ground floors; and setbacks to upper levels. Materials should take cues from the Portland stone Engineering Building and the red brick materiality of Albert Stern House.



Location of the West Quarter

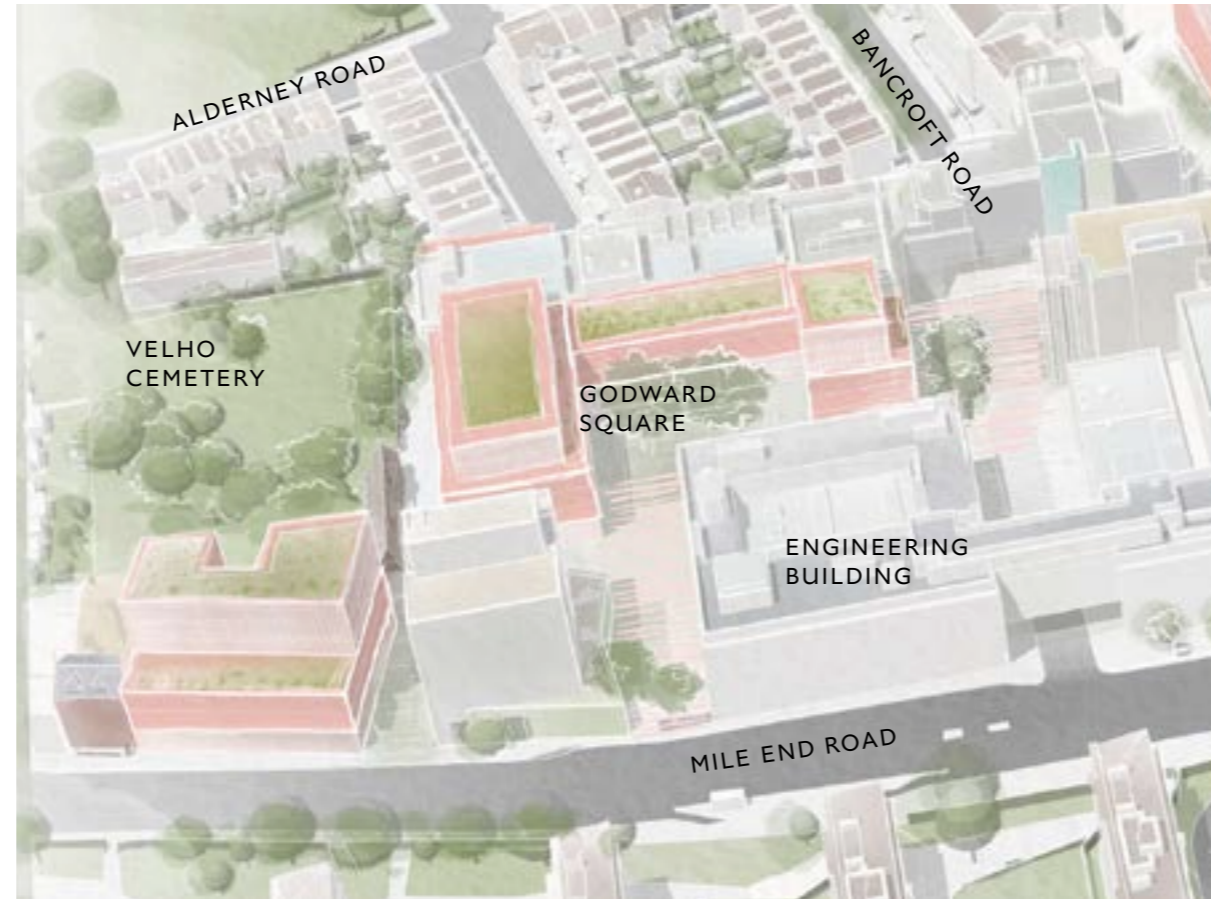
5.2 CASE STUDY

For this case study, the existing Maths Building remains the local high point marking the 'Western Gateway' to the campus. New development is of a similar scale to the existing context, between three and six storeys, including setbacks to sensitive edges.

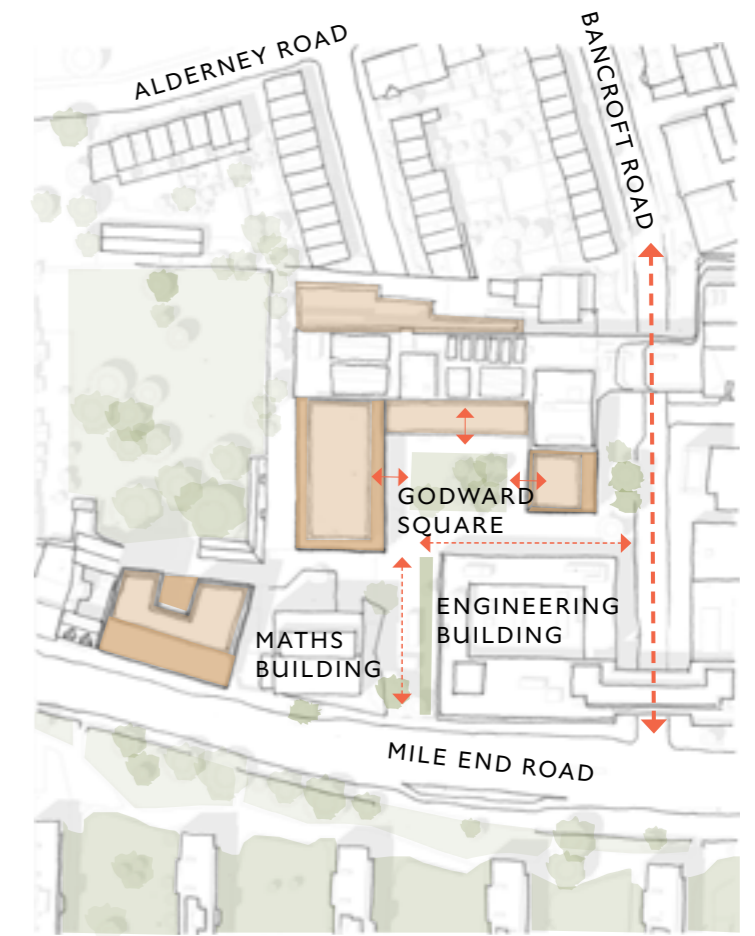
Improved connections from Mile End Road lead to a revitalised Godward Square public space along with ground floor activity on all sides. Bancroft Road is enhanced to become more pedestrian-friendly, with improved surface materials; enhanced way-finding to local landmarks (including Mile End Hospital and Tower Hamlets Local History Library and Archives); and improved access to campus public spaces.

Greater visibility into existing ground floor spaces allows for better public engagement with the engineering activities.

Public spaces surrounding the listed cottages and the cemetery are enhanced, improving public access to this part of the campus.



Aerial view of the West Quarter



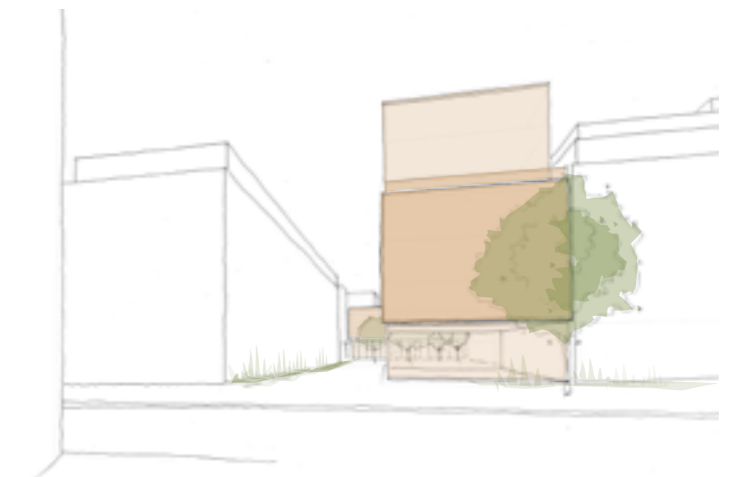
Plan view of the West Quarter



Illustrative Mile End Road Elevation suggesting how new proposals could be responding to existing datums and heritage assets



Illustrative view down Mile End Road looking east



Illustrative view across Bancroft Road looking west

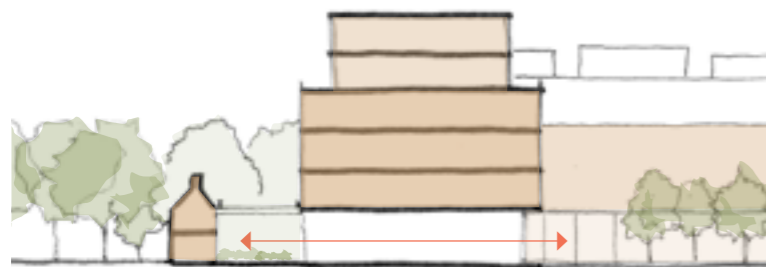
5.3 COMMUNITY BENEFITS

New development within this development site should be used as a catalyst for the preservation and enhancement of existing heritage assets. These include the listed Albert Stern House, the cottages and the Alderney Road Cemetery, in consultation with the relevant stakeholders.

Public realm improvements along the rear of the cottages and the cemetery wall would create a more appropriate arrival point for visitors to the cemetery which is accessed via a small gate in the wall. Interpretation within the landscape and way-finding strategy would help to convey the significance of the cemetery and link to a local history and heritage trail.

This section of Bancroft Road where it passes through the university campus currently creates a somewhat unwelcoming and illegible environment. Improving the streetscape by creating more active frontages and a more pedestrian-friendly environment would help to create a better connection between passers-by and the activities undertaken within the university.

A landscaped Godward Square, designed to cater for the student's union as well as academic buildings and local communities, would provide a welcome public space.



Illustrative section showing potential to integrate heritage assets within public realm, linking the new Informatics Building to the listed cottages and the cemetery wall, introducing a more activated and positive public realm



Precedent image: Calm contemplative spaces and rich planting would bring richness to the currently forgotten corners of the campus while providing an enhanced setting for the cemetery and cottages



Existing poor-quality public realm surrounding the Albert Stern cottages and cemetery entrance

6.0 RESIDENTIAL QUARTER

6.1 DESIGN PRINCIPLES

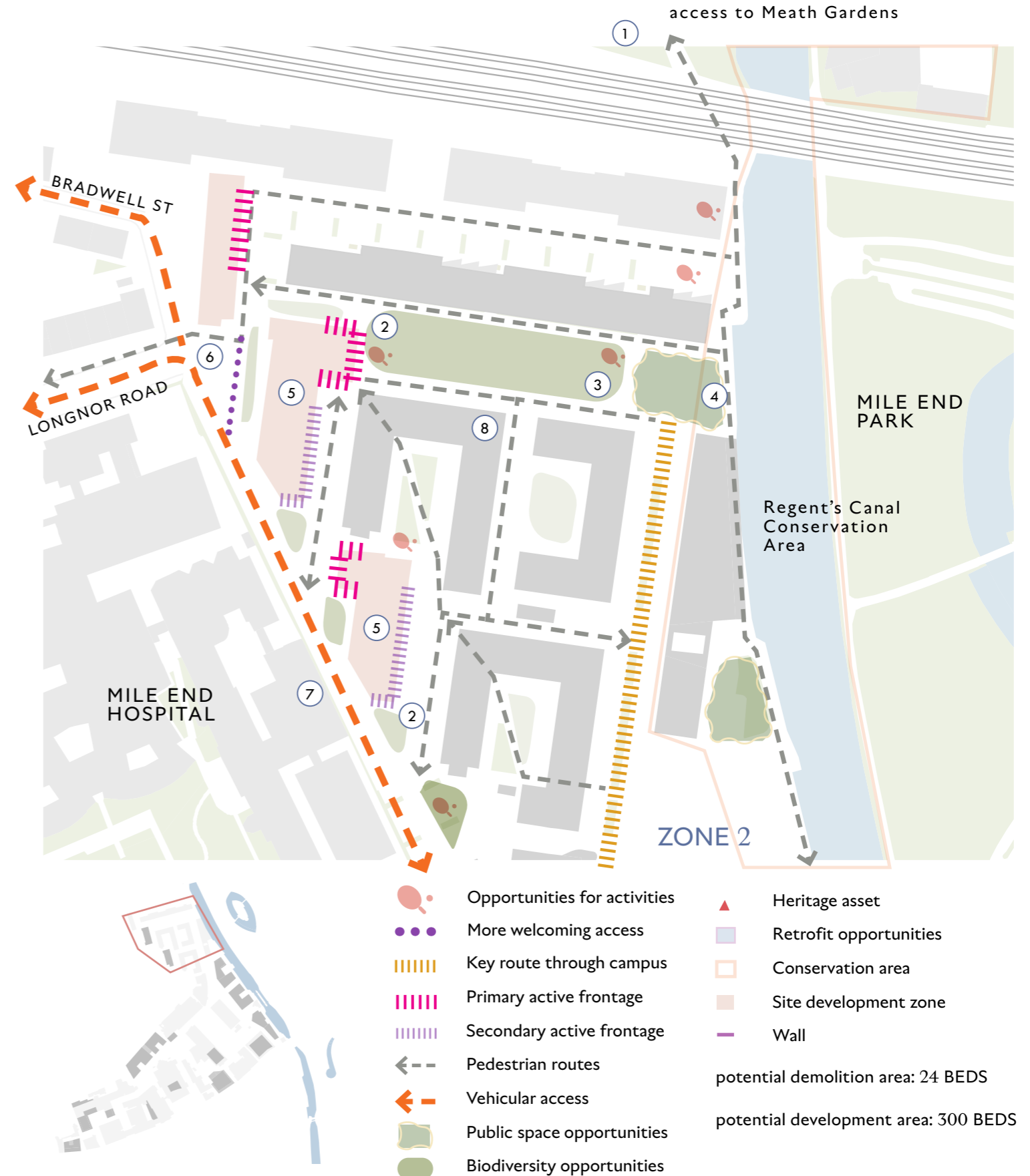
1. Strengthen public routes and connections to the surrounding area, including Meath Gardens to the north and the canal edge.
2. Provide active frontages to the main circulation routes through the campus, with communal facilities at ground floor level.
3. Enhance the quality of the public realm and green spaces, offering opportunities to gather all year round; enhanced facilities for sports and activities; and improved biodiversity.
4. New building massing should consider impact on neighbours and townscape, including views along Longnor Road; from the Regent's Canal towpath; and from Mile End Park.
5. Provide a high standard of accommodation for students and improve the use and quality of spaces between buildings, offering greater opportunities to balance time spent indoors and outdoors.
6. Improve public access from Longnor Road, providing a more welcoming access point with security features better integrated within the public realm and landscape.
7. Enhance pedestrian/cycling routes through the campus, coupled with clear wayfinding.
8. Explore opportunities to vertically extend the existing four-storey residences and utilise flat roofs for green roofs and wildlife habitats.
9. Material choices and building articulation should reflect the residential character of the area, while also expressing communal spaces.
10. Ensure that development does not neutralise future development opportunities within the Mile End Hospital site, securing sufficient building setbacks and design moves to avoid issues of overlooking.
11. Recognise that student accommodation in this location does not mark an area of a civic significance, therefore is not suited to serve as a site for tall buildings.
12. Any loss of publicly accessible open space in this location will require necessary mitigation in accordance with Local Plan policy.



Precedent image: Carlaw Park Student Accommodation



Precedent image: Defined communal spaces and entrances



6.2 CASE STUDY

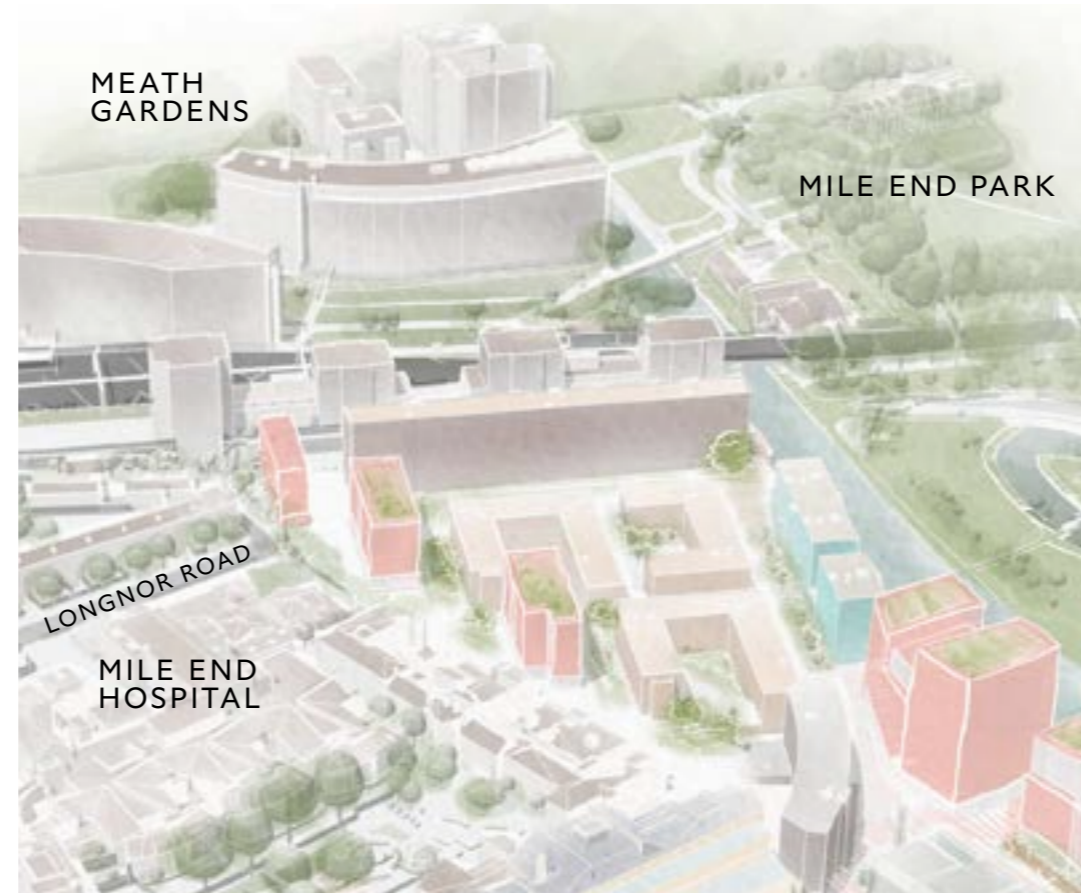
This case study explores an option of three linear blocks of student accommodation orientated to align with the existing grid of accommodation buildings.

Each building would be capable of accommodating 10 to 12 student bed spaces per cluster, two clusters on each floor and served by a central core.

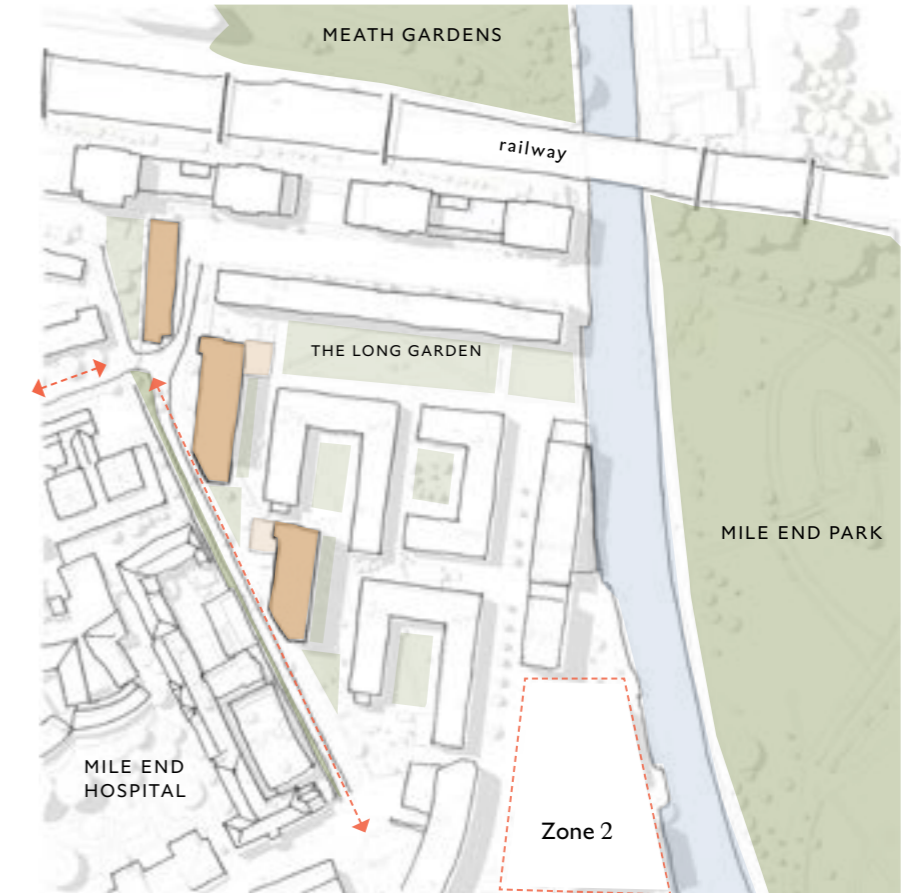
Building heights step down in scale from the existing linear student accommodation blocks to the north, towards the student accommodation adjacent to the developments to the east, as well as the scale of the nearby hospital site and Longnor Estate.

Ground floors offer communal facilities, allowing them to activate the public spaces.

The central building would help to enclose the Long Garden while also delivering associated improvements to the quality of the surrounding public realm, particularly the interface with Longnor Road.



Aerial view of the Residential Quarter



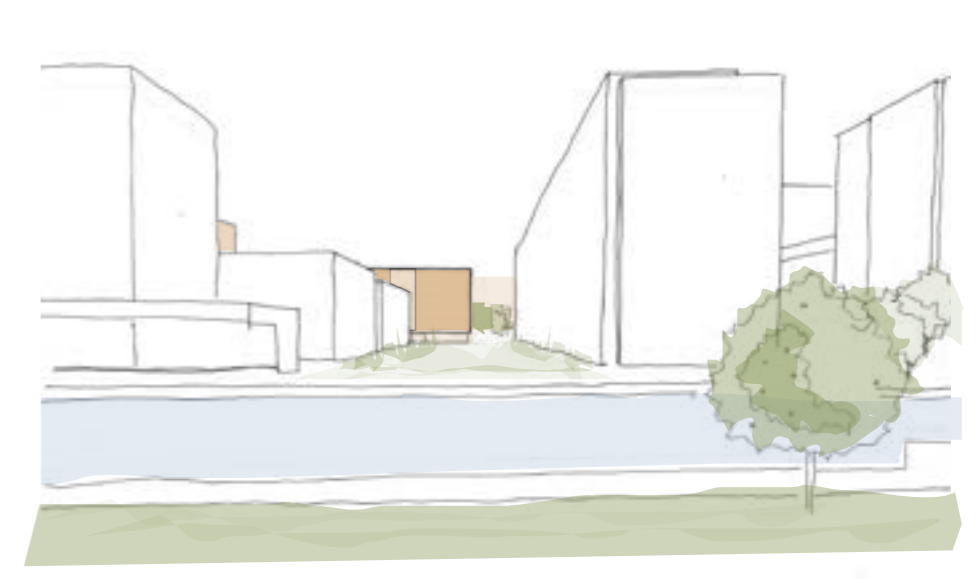
Plan view of the Residential Quarter



Existing gate and entrance to the campus as viewed from Longnor Road



Illustrative view down Longnor Road looking east



Illustrative view across from Mile End Park and the canal looking west

6.3 COMMUNITY BENEFITS

The existing Longnor Road entrance should be enhanced with a more welcoming public realm and security infrastructure that is better integrated in the landscape design.

This could take the form of a feature or gateway that provides the necessary security while also serving as a landscape feature or artwork.. These features can also be softened with planting and greenery so as to ensure that railings blend into the background. Vertical landscape elements, such as small trees or hedges, would also add landscape interest and support biodiversity.

Car parking to this part of the campus should be reduced significantly to coincide with new development. This would have the benefit of unlocking new development sites; reducing vehicle movements via Longnor Road; and improving the public realm along the boundary of the campus.

Section 106 and section 278 contributions from new development could be secured to enhance the approach and gateway to the university therefore providing tangible improvements for residents living in the adjacent Longnor Estate.

New connections to Meath Gardens and Mile End Park via the campus will bring local residents closer to these community amenities by significantly reducing walking distances.



Precedent images: Space to exercise, play and socialise within the landscape



Precedent image: Opportunities for the 'Long Garden' in between student accommodation blocks

Top - Precedent image: the gate forms a local feature and gateway with good permeability and a welcoming feel

Left - Precedent image: using perforated decorative screens with warm materials and natural patterns

Far Left - Precedent image: creating an artistic installation with visibility through the fence and soft landscaping



SECTION D

OBLIGATIONS

1.0 OBLIGATIONS & MITIGATION

The main objective of this SPD is to provide a planning framework to comprehensively consider and envisage the growth of the QMUL Mile End Campus, while ensuring this growth benefits the surrounding communities and the wider borough; and that any harm that arises from new development is adequately mitigated.

Through the context analysis set out in section A, the SPD demonstrates that the campus is situated in the heart of an established local community; as well as having a sensitive heritage context with the presence of three conservation areas; and statutory and locally listed buildings in and around the campus. Section C of the SPD then considers how five development sites on the campus could accommodate growth through the application of key development principles, whilst considering this growth in a comprehensive and holistic manner, rather than through a piecemeal approach to development.

The Community Infrastructure Levy (CIL) is a standard charge on most new development in the borough and is the mechanism that can help to pay for local infrastructure projects that are needed to support new developments, such as schools, health services, leisure, open spaces and transport improvements. However, individual developments may also require site specific mitigation to address any resultant adverse impacts or additional pressures placed on existing facilities or resources, in order to make such developments acceptable in planning terms. Such mitigation will be secured through planning obligations, in the form of section 106 and section 278 agreements, and in accordance with the approach set out in the Council's adopted Planning Obligations SPD and relevant local plan policies.

When considered individually, applications for new development on the Mile End Campus might fall short in considering the cumulative impact of development expected on the campus. Clearly, as this document shows, the cumulative level of development expected across the campus over the next 20-30 years is strategic in scale. This would result in a collective sum of impacts that could be significant.

In broad terms, potential impacts from new development and/or a growing campus population include:

- Harm caused to local heritage assets, in particular, the Regent's Canal Conservation Area; and other on-campus listed buildings and heritage assets;
- Increasing development pressures on the canal environment including detrimental amenity impacts such as over-shadowing, a loss of openness and a reduction in biodiversity;
- Other environmental burdens relating to air quality; energy, flood risk; noise; SuDS and ecology;
- Increasing pressure on local open spaces, such as Meath Gardens and Mile End Park, both quantitatively and qualitatively; and compounded by generally poor access to these open spaces;
- Increasing pressure on health, community and sports facilities in the local area;
- Additional pressures on the borough's transport and highway networks including public transport infrastructure, bus services and local cycle routes/ parking;
- Increasing pressure on the local public realm and movement network, particularly given the currently perceived restricted movement through the campus and its proximity to Mile End Hospital; and
- Diminished amenity to nearby residential areas.

Given the above, for the assessment of individual major applications that come forward on the campus, site-specific mitigation measures should be accompanied by a detailed and carefully prepared mitigation and public benefits strategy (or similar), which takes into consideration the campus as a whole; delivers on good place-making; is design led and accords with the vision, proposals and strategies set out within this SPD.

For example, the provision of new cycle parking required as site-specific mitigation for a particular university development should sit as part of a comprehensive campus-wide strategy for cycle parking that would set out where new 'Cycle Hubs' are to be strategically located. Similarly, given the compact and relatively cramped nature of the campus; limited open space and sports facilities; and additional pressures from expansion on surrounding public open spaces; any major new developments should prepare a comprehensive strategy to address this fact.

This approach would give the decision maker a level of comfort and security that any mitigation sought on a site-wide level is contributing towards addressing the wider pressures that new development across the campus will place on the area, thus helping to put in place a planned, cohesive and efficient set of mitigation measures on individual developments as they come forward.

Notwithstanding the above, it is important to note that planning obligations must only be secured where they meet the 3 tests as set out in Regulation 122 of the Community Infrastructure Regulations 2010 (as amended), namely:

- a) necessary to make the development acceptable in planning terms;
- b) directly related to the development; and
- c) fairly and reasonably related in scale and kind to the development.

In developing the necessary mitigation measures and obligations for new development, as set out in the Built Heritage and Townscape area priority of this SPD (section B, part 4.3), it is important to consider that the Council are required to meet the Planning (Listed Buildings and Conservation Areas) Act 1990, and the NPPF's public benefits test (NPPF paragraphs 193-196), which seek to address the balancing of harm to designated heritage assets against public benefits. Furthermore, as set out within the Building Heights area priority of this SPD (section B, part 5.1), it should also be considered that proposals for tall buildings on the campus – and area located outside of the Borough's tall buildings zones - would be required under Local Plan Policy D.DH8 to 'address deficiencies in the provision of strategic infrastructure.' This too is seen as an opportunity connected to the securing of necessary mitigation.

